

porirucity

Land Information Memorandum Report

23 Te Puia Drive
Aotea

K A Daly
23 Te Puia Drive
Aotea
Porirua 5024

Dear Kathryn

**LAND INFORMATION MEMORANDUM REPORT LIM0279/24 ON 23 TE PUIA DRIVE, AOTEA,
PORIRUA CITY 5024**

Please find enclosed the completed Land Information Memorandum (LIM) Report for the abovementioned property described as LOT 226 DP 352503 as per your LIM application.

Please refer further enquiries to the respective Council area noted under each heading.

Yours sincerely



Ngā mihi,

Marewa Mather
LIM Officer
Kaiārahi Mōhiotanga Whenua
Tel: 04 237-1474
porirucity.govt.nz

LAND INFORMATION MEMORANDUM REPORT



LIM NUMBER:	LIM0279/24
LIM APPLICANT:	K A Daly 23 Te Puia Drive Aotea Porirua 5024
PROPERTY ADDRESS:	23 Te Puia Drive Aotea Porirua City 5024
LAND DESCRIPTION:	LOT 226 DP 352503
LIM ISSUE DATE:	09 May 2024

LIM Report Sections

The LIM report is split into two sections:

1. *Local Government Official Information and Meetings Act 1987 44A (2) – Mandatory Information*
2. *Local Government Official Information and Meetings Act 1987 44A (3) – Discretionary Information*

Notes to the Applicant

- a) This Land Information Memorandum (LIM) has been prepared for the purposes of Section 44A of the Local Government Official Information and Meetings Act 1987:
<http://www.legislation.govt.nz/act/public/1987/0174/latest/DLM123065.html>
- b) It contains all the information described in section 44A (2) that is held by Porirua City Council in relation to the land, as at the date above. It is based on a search of the Council's records only and there may be other information relating to the land which is not held by the Council. The records may not show illegal or unauthorised structures or other work on the land.
- c) Council cannot warrant the information in this LIM is correct and will not accept any liability for errors or omissions in its records or for any costs, damages or expenses incurred in consequence of errors or omissions or reliance on the information for the following reasons:
 1. The Council has not undertaken an inspection of the land or any building(s) on it for the purpose of preparing this LIM. The applicant is solely responsible for ensuring that the land is suitable for a particular purpose. Please consult the Council if you have any questions.

2. The inclusion or omission of information in or from this LIM does not limit or affect the Council's functions, powers, or duties in relation to the land under any statute, regulation, bylaw, policy, or other enactment.
 3. The information contained in this Land Information Memorandum has been compiled from a variety of records. The applicant should be aware that some of this information is based on records supplied by developers and tradespeople where the accuracy cannot be guaranteed.
 4. The reproduction of plan copies is dependent on the quality of the originals; hence some reproductions may be of poor quality. If clarification is required, the original should be sighted.
 5. Property boundaries shown on attached copies of computer-generated plans are based on the Digital Cadastral Data Base (DCDB). Topographical information shown (for example, buildings etc.) is captured by photogrammetric methods. The accuracy of the two methods of data capture is different and the relationship of buildings to boundaries cannot be relied on.
 6. Copies of plans included in this Land Information Memorandum should not be used as the basis for any proposed development.
 7. Council does not hold official property boundary information. Relevant certificates of title should be obtained from the Land Titles Office (Land Information New Zealand) and relevant boundary dimension information should be obtained from Land Information New Zealand, Wellington, Telephone: 0800 665 463.
 8. Depending on the history of the subject property (for example, subdivision etc), some information contained on computer printouts may not actually relate to the subject property. The information is also dependent on the accuracy of the original data capture.
 9. Other authorities may hold information relevant to the property.
- d) The Council may, upon request, provide additional information about the land. There will generally be an additional fee payable, based on the amount of time required to locate, collate, and provide the requested information.
- e) If a property is cross-leased any building alterations undertaken may affect the lease documents. If this is the case, appropriate resource consents pursuant to the Resource Management Act 1991, and amended Certificates of Title, should be obtained to reflect the correct situation.
- f) The address provided with this Land Information Memorandum is Council's address relating to the Certificate of Title supplied.
- g) This LIM report will only be released to the applicant.

REPORT CONTENTS

LIM Report Sections	2
Notes To The Applicant	2
Contact Emails / Phone Numbers / Websites:	6
LGOIMA 44A (2) – MANDATORY INFORMATION	7
44a (2)(A) Information Identifying Each (If Any) Special Features Or Characteristics Of The Land	7
Potential Erosion	7
Avulsion.....	7
Falling Debris.....	7
Subsidence	7
Slippage.....	7
Flooding (Alluvion Or Inundation)	7
Regional Climate Change Information.....	8
Tsunami Hazards.....	8
Coastal Hazards.....	8
Likely Presence Of Hazardous Contaminants	9
Earthworks Associated With A Subdivision	9
44a (2)(B); Information On Private And Public Stormwater And Sewerage Drains.....	10
Onsite Sewage Disposal	10
Onsite Water Supply	10
Water Toby Location.....	10
Wastewater & Stormwater Drainage – Any Known Issues?.....	10
44a (2) (Ba); (Bb) Drinking-Water Supplier.....	10
44a (2)(C) Any Rates Owing In Relation To The Land.....	11
Rates	11
Water Rates	11
Warm Wellington Insulation Grant	11
44a (2)(D); (Da); (E) - Consent, Certificate, Notice, Order, Or Requisition The Land Or Any Buildings On The Land	11
Resource Consents	12
Alcohol Licences	12
Registered Environmental Health Premises	12
Building Consents Granted/Issued Under The Building Act 1991/2004	13
Building Permits Granted Prior To The Building Act 1991	13
Certificate Of Acceptance.....	13
Conditions Of Notice To Fix	13
Certificates Issued By Building Certifiers	14
Swimming Pool.....	14
Determinations	14
Building Warrant Of Fitness (Typically Applies To Commercial Premises)	14
Unauthorised Building Work	14
Requisitions	15
44a (2) (Ea) – Information Notified To Council Under Section 124 Weathertight Homes Resolution Services Act 2006	15
Weathertight Homes - Are There Any Known Issues?.....	15
Restricted Building Works	15
44a(2)(F); (G); (H) – Conditions, Classify Land Or Buildings, Information From Any Network Utility Operator	16
Earthquake Prone Buildings (Section 124 Building Act 2004)	16
Is It Known To Pcc As A Potential Earthquake Prone Building?.....	16
Conditions Of Notice To Rectify	16
Conditions Of Dangerous And Insanitary Buildings	16
Zoning.....	17
Designation	17
Land Or Building Classifications.....	17
LGOIMA 44A (3) – DISCRETIONARY INFORMATION	18
Road Reserve	18
Reserve Land.....	18
Record Of Title	18
Fees And Charges.....	18
Historical And Cultural Values.....	19
Heritage Site.....	19
Notable Tree	19
Natural Environmental Values	19
Infrastructure.....	20
Noise Corridors	20
Gas Transmission Above Ground Station	20
National Grid Corridor.....	20
Cadastral Maps / Aerial Photo(S)	21

Aerial Photos21
Wind Zones21
Corrosion Zones21
Liquefaction**22**
Ground Shaking22
Potential Surface Fault Rupture Zone22

Contact Emails / Phone Numbers / Websites:

If you have further queries regarding the information provided in this LIM Report, please contact the right area of Council and or external party.

LIM AREA		CONTACT AREA	Email / Phone or Website
Potential Erosion Avulsion Falling debris Subsidence Slippage Alluvion or inundation	Earthworks associated with a subdivision Flood Maps Onsite Sewage Disposal – connected to Council sewer main Onsite Water Supply Water Toby Location Drinking Water Supplier	 Waste and Water Team Wellington Regional Water	Phone 04 237 5089 or email: enquiries@pcc.govt.nz WASTE & WATER team or email: cciwateranddrainage@porirua.govt.nz Phone 04 912 4470 WELLINGTON WATER or email: info@wellingtonwater.co.nz
Building Consents Building Permits Certificate of Acceptance Conditions of Notice to Fix Swimming Pool Determinations Building Warrant of Fitness Unauthorised building work	Requisitions Weathertight Homes Resolution Services Act 2006 Restricted Building Works Earthquake Prone Buildings Conditions Notice to Rectify Conditions Dangerous & Insanitary Buildings	Building Compliance Team	Phone 04 237 5089 and request to be put through to BUILDING COMPLIANCE team or email: enquiries@pcc.govt.nz
Onsite Sewage Disposal – NOT connected to Council sewer main Likely presence of hazardous contaminants Alcohol Licences Registered Environmental Health Premises		Environmental Health Team	Phone 04 237 5089 and request to be put through to ENVIRONMENTAL HEALTH team or email: environmentalhealth@pcc.govt.nz
Rates Water Rates Rates owing in relation to the land		Rates Team - Finance	Phone 04 237 5089 and request to be put through to RATES team or email: rates@pcc.govt.nz
Warm Wellington Insulation Grant		Greater Wellington Regional Council	Phone 0800 496 734 or email: warm@gw.govt.nz
Resource Consents Zoning Designation Land or Building Classification		Resource Consents Team	Phone 04 237 5089 and request to be put through to RESOURCE team or email: rc.enquiries@pcc.govt.nz
Encroachments		Property Team	Phone 04 237 5089 and request to be put through to the PROPERTY team or email: propertyservice@porirua.govt.nz
Road Reserves		Transport Team	Phone 04 237 5089 and request to be put through to the TRANSPORT team or email: transportconsents@porirua.govt.nz
Reserve Land		Parks Team	Phone 04 237 5089 and request to be put through to the PARKS team or email: enquiries@pcc.govt.nz
Heritage Site		Environment & City Planning Team	Phone 04 237 5089 and request to be put through to the ENVIRONMENT & CITY PLANNING team or email: enquiries@pcc.govt.nz
Record of Title		Land Information New Zealand depending on issue raised	Phone 0800 665 463 or email: customersupport@linz.govt.nz
General Applicant Enquiries		General Enquiries	Phone 04 237 5089 or email: enquiries@pcc.govt.nz

LGOIMA 44A (2) – MANDATORY INFORMATION

44A (2)(a) Information Identifying Each (if any) Special Features or Characteristics of the Land

POTENTIAL EROSION

Potential for the wearing away of rocks and other deposits on the earth's surface by the action of water, ice, wind

For further information contact enquiries@poriruacity.govt.nz

- Porirua City Council holds no record of 'Erosion' pertaining to the property.

AVULSION

The sudden movement of soil from one property to another as a result of flood resulting in a shift in the course of property boundary stream

For further information contact enquiries@poriruacity.govt.nz

- Porirua City Council holds no record of 'Avulsion' pertaining to the property.

FALLING DEBRIS

A relatively free downward or forward falling of unconsolidated or poorly consolidated earth or rocky debris from a cliff, cave, or arch

For further information contact enquiries@poriruacity.govt.nz

- Porirua City Council holds no record of 'Falling Debris' pertaining to the property.

SUBSIDENCE

Gradual sinking of landforms to a lower level as a result of the earth movements, mining operations

For further information contact enquiries@poriruacity.govt.nz

- Porirua City Council holds no record of 'Subsidence' pertaining to the property.

SLIPPAGE

The amount of slippage or the extent to which slipping occurs

For further information contact enquiries@poriruacity.govt.nz

- Porirua City Council holds no record of a 'Slippage' pertaining to the property.

FLOODING (ALLUVION OR INUNDATION)

Overflow or flood – to cover with water especially flood waters

For further information contact enquiries@poriruacity.govt.nz

- Porirua City Council holds no record of any 'Flooding or Inundation' pertaining to the property.

Further information on Flood Mapping can be found at the following link:

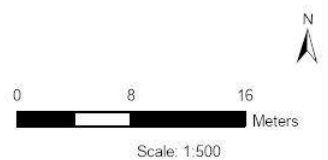
<https://poriruacity.govt.nz/your-council/city-planning-and-reporting/district-plan/proposed-district-plan/past-consultations/porirua-flood-mapping/>

Flood Hazards (most recent data)



LEGEND

-  Stormwater Catchments
-  Flood Hazard - Ponding
-  Flood Hazard - Overland Flow
-  Parcel



Created on 9 May 2024

DISCLAIMER

Sourced from Land Information New Zealand. CROWN COPYRIGHT RESERVED. The information displayed in the map has been taken from Porirua City Council's databases and GIS. It is made available in good faith but its accuracy or completeness is not guaranteed. If the information is relied on in support of any resource consent application process it should be verified independently.

REGIONAL CLIMATE CHANGE INFORMATION

Assessment of coastal vulnerability to climate change, sea level rise and natural hazards

For further information contact Environment & City Planning 04 237 5089

Climate Change Mapping undertaken on behalf of the Greater Wellington Regional Council which may be of interest to this property can be found at the following link:

<https://mapping1.gw.govt.nz/GW/SLR/#background-to-topic>

That webpage displays a dynamic map which shows the calculated inundation areas at a range of sea level rise values in the Wellington Region, it does not make a prediction as to actual sea level rise. Alternative map overlays show modelled storm surge flooding at different sea level rise values, for a 100-year event. Inundation areas were modelled in 2017 based off a detailed digital elevation model of the Wellington region. Tide level offsets are based on values in a report produced by NIWA for the Parliamentary Commissioner for the Environment in 2016. An assessment of coastal vulnerability to climate change, sea level rise and natural hazards titled 'Preparing Coastal Communities for Climate Change' has also been prepared. That report was commissioned to assist councils in the Wellington region in designing a process for working with the affected communities to develop long-term adaptive strategies. That report may be of interest in relation to this property. A link to that report can be found here:

<https://www.gw.govt.nz/document/1141/wellington-regional-coastal-vulnerability-assessment>

TSUNAMI HAZARDS

When tsunami waves hit the shallower areas near the coast they can behave like storm surges, suddenly increasing in height and speed. It's important to know which parts of Porirua are most likely to be affected by a tsunami.

- Porirua City Council holds no record of a 'Tsunami hazard' pertaining to the property

Further information can be found at the following link: <https://poriruacity.govt.nz/services/civil-defence/tsunamis/>

COASTAL HAZARDS

Coastal erosion and coastal flooding are the main coastal hazards in our city. Coastal hazard risks will be made worse in the future as climate change leads to rising sea levels and an increase in the frequency of damaging and disruptive weather events.

- Porirua City Council holds no record of 'Coastal hazards' pertaining to the property

Further information can be found in this report:

https://poriruacity.govt.nz/documents/3200/Focus_Resource_Management_Group_2020_Porirua_City_Coastal_Hazards.pdf

LIKELY PRESENCE OF HAZARDOUS CONTAMINANTS

For further information contact environmentalhealth@pcc.govt.nz

Historic and current activities can leave a legacy of contamination because of the way hazardous substances are used, stored, or disposed of.

- Porirua City Council holds no record of 'Contamination' pertaining to the property.

No information does not mean that the site is not contaminated, rather that no information exists on our files or the Greater Wellington Regional Councils Selected Land Use Register (Slur).

Information from the SLUR can be viewed on Greater Wellington Regional Council's publicly available map:

https://mapping.gw.govt.nz/GW/GWpublicMap_Mobile/?webmap=72ece62d902e4c3fb6506136104abbf9

EARTHWORKS ASSOCIATED WITH A SUBDIVISION

Please note that further earthworks may have been granted under a Resource Consent.

For further information contact enquiries@poriruacity.govt.nz

Earthworks can be described as any activity that disturbs soil, earth, or land surfaces, therefore, likely to need a resource consent.

- Sub-divisional Earthworks [As per attached Earthworks SR-P-3]

1.0 INTRODUCTION

This report presents the results of general earthworks quality monitoring at Stages 3C,3D,3E and 3G of the Carrus Limited Aotea residential subdivision.

The residential lots within these stages are numbered 216 - 250, 321 - 324, 373 - 394 and 438 - 452 (total 76). The local purpose reserve lots are 607 (accessway) and 610 (segregation), the recreation reserve lots are numbered 2 and 4 and the road lots are 502, 503, 504, 506 and 507 (507 unformed).

The extent of the fill placed during bulk earthworks (and the extent of excavated ground) is shown on the attached drawing no. 00511-3-AB205 (as-built isopacs).

A Statement of Professional Opinion regarding the appropriateness of the development for its intended purpose is included in Appendix 7.

2.0 PREVIOUS REPORTS

A geotechnical report by Tonkin & Taylor, dated October 2002, entitled "Carrus Limited; Aotea Block Development; Porirua; Geotechnical Feasibility Assessment", reference 83023, describes in detail the various investigations and tests conducted on the site.

The investigation report describes the pre-construction landform, published geology relating to the site, field investigations, sub-surface and surface conditions. The report also makes reference to cut and fill slopes, settlement of fills and fill compaction.

The silts, siltstones and sandstones described in the report were the predominant materials used for filling. Together with our visual appraisal and specific testing, that report's recommendations and information have been used to arrive at our conclusions regarding the non-filled portions of the site.

3.0 CONSTRUCTION EVENTS

The earthworks construction for this site was undertaken by Draper Earthmoving Limited, and earthworks took place from November 2004 to April 2005. Filling was continuous as allowed by weather and ground conditions.

Appropriate machinery was used in earthworking, including motor scrapers, self-propelled sheepsfoot compactors, excavators, bulldozers and dump trucks.

4.0 EARTHFILL

Materials used in the controlled earthfilling of the site previously described were obtained from a "cut" exercise, reducing the ground levels on the surrounding higher ground. (Some material used as fill on these stages was borrowed from the adjacent stage within stage 3). The fill materials used mainly comprise silts, siltstones and sandstones. The ground surfaces within the filled areas were stripped of topsoil and organic soils and any soft areas excavated prior to filling.

During bulk earthworks, fill was placed on all or part of lots 220 - 226, 230, 234, 235, 238 - 250, 373 - 382, 387 - 394, 438 - 442 and 444 - 452. The extent of the fill placed during bulk earthworks is shown on appended drawing no. 00511-3-AB205. The fill was observed and tested for compliance with the fill specification.

For earthfill control, we adopted our specification, based on previous experience with similar soils in the area, the recommendations of Tonkin & Taylor and the requirements of Porirua City Council. Measurement of compaction is based on *percentage of maximum dry density* using Test 14 of NZS4402:1981, Part 2 and *moisture content*.

Our specification for general fill is:

Percentage of Maximum Dry Density

(NZS 4407:1991 Cl 4.2.1)

95% for general fill

97% for final 1 metre of bulk fill; 100% for final 0.6m of road subgrade.

Moisture Content

(NZS 4402:Part 1)

Range +2% to -4% optimum

The field and laboratory earthworks compaction control and soil data presented in this report (Appendix 2) were obtained and produced on our behalf by **Materials Advisory and Testing Service Ltd (MATS)**. The engineer consulted with MATS staff regarding the timing and positioning of compaction tests and re-tests where considered necessary. Where necessary, the engineer discussed instructions to the contractor regarding the removal of unsatisfactorily compacted material and/or further compactive or drying effort as required and as indicated by the test results.

Fill up to about 14m deep was placed at the site. Based on guidelines provided by Tonkin & Taylor, settlement within the engineered fill are estimated to be negligible. (Tonkin & Taylor suggest 10-20mm, most of which will occur during fill construction).

Within stages 3C, 3D, 3E and 3G, approximately 135 compaction control tests were undertaken.

A total of approximately 145,000 cubic metres of controlled compacted fill was placed on these stages. The entire placed fill originated from the site (or the adjacent areas of stage 3). Compaction tests were carried out on the fill as it was placed.

A number of Proctor compaction tests were completed for previous earthworks on stages 1 and 2 of this development to establish the maximum dry density (MDD) and optimum moisture content (OMC) of the various soil types encountered. Those test results were used initially for stage 3 earthworks, but were supplemented throughout the course of the works with four further tests, either where obviously-different material was encountered, or purely as confirmation of previous results. The four new test results are attached as Appendix 3. Judgement on site was used to select the appropriate MDD and OMC to use when calculating compaction factors.

In all cases, acceptance or rejection of the fill was at the discretion of the engineer, after consideration of the compaction test results, type of soil being placed and effort given to compaction by the earthworks contractor.

Earthfill was thus generally placed in accordance with the requirements of NZS 4431:1989, "Code of Practice for Earthfills for Residential Development", NZS 4404:2004, "New Zealand Standard Land Development and Subdivision Engineering" and the Porirua City Council's Code of Urban Subdivision 1983.

NZS 4431:1989 requires compaction tests to be carried out in areas likely to yield the lowest values of in-situ dry density. Tests positions were therefore selected visually. Failed tests generally require the whole area recently worked to be reworked. Retest locations are also selected visually for the likely lowest density value and due to the scale of the work these places will not necessarily coincide with the earlier failed test locations.

A small amount of organic material, roots, etc. may have inevitably been included in the fill material, due to being picked up and deposited from the machine wheels or tracks. We believe however, that this material would be widely dispersed and would not have a detrimental effect on the quality of the fill material.

On the basis of the test results and our observation of the construction procedures, we conclude that the constructed earthfills as reported here are acceptable and have been placed in accordance with the requirements of the New Zealand Standards mentioned above. We also conclude that they were placed in accordance with the compaction criteria set out in the fill specification (attached as Appendix 5).

5.0 TOPSOIL

The placement of topsoil is undertaken without Harrison Grierson Consultants Limited involvement and is therefore outside the scope of this report. Harrison Grierson Consultants Limited is not responsible for final topsoil thicknesses. The depth of topsoil respread was specified to be generally 150mm.

6.0 CUT AREAS AND NATURAL GROUND

On completion of earthworks, a total of 48 Scala penetrometer tests were carried out in the approximate centre of most of the lots on which significant excavations had taken place (44 lots). The Scala test results (lot nos. 216 -222, 226 - 229, 231 - 233, 235 - 238, 241, 242, 246, 247, 321 - 324, 379 - 389, 394 and 439 - 444) are attached in Appendix 4. Scala penetrometer tests were generally carried out from the surface of the silt, for a depth of 800mm.

Allowable bearing pressures for buildings have been determined from in-situ measured penetration resistances from the tests referred to above. Based on the soils encountered and measured penetration resistances, the cut and natural ground have sufficient bearing capacity for an allowable bearing pressure of 100kPa for strip footings (maximum width of 0.5m) founded at 0.45m depth (assuming a capacity reduction factor of 0.33 for serviceability limit state).

7.0 SERVICE TRENCHES

Service trenches excavated in the filled or original ground are generally not backfilled to the standards described above for major fills. Where such trenches have been filled over (as distinct from backfilled) after the service has been laid, the degree of compaction will approach that of the remainder of the fill. Backfill in all other trenches was not specifically tested, but all will have been traversed by heavy plant in dressing off the platforms to final levels and spreading topsoil.

All services are generally located close to and parallel with boundaries, and will probably not be built over. If buildings encroach into a zone equal in width to the depth of the invert level of the services, then foundations will require specific design by a Chartered Professional engineer practicing in geotechnical engineering/foundation design.

8.0 SLOPE STABILITY

No significant stability issues affect any of the residential lots.

Building set-backs have been imposed on lot nos. 241 to 248 inclusive, as a precaution due to the height of the filled slopes below. These slopes are not

considered unstable. No building should be permitted within any drainage easements.

Condition 9 of the Resource Consent (RC 3625 – attached as Appendix 1) requires that the stability of constructed cut batters be addressed and references sections 205.3 and 205.3.4 of the PCC Code of Urban Subdivision, 1983. The significant cut batters on this site are:

- The south-western boundaries of lot nos. 383, 384, 385 and 386, which are up to 5 metres high and at a gradient of approximately 1.6H:1V
- The western boundary of lot 324, which is up to 6 metres high and at a gradient of approximately 1.6H:1V.
- The southern boundary of lot 443, which is up to 8 metres high and at a gradient of approximately 3H:1V.

These cuts are within the parameters stipulated in section 205.3.4 and are considered to be stable.

9.0 EXPANSIVE SOILS

Expansive soils are defined in NZS 3604:1999 "Timber Framed Buildings" as those soils that have a liquid limit of greater than 50% and a linear shrinkage of greater than 15%.

The soils on this site are considered to have values less than those limits and therefore, are considered to lie within the definition of "good ground" as defined in that code.

Notwithstanding this however, the home owner has a responsibility to care for and adequately maintain a site. The standard of maintenance expected by AS2870:1996 (a document referenced in NZS3604) is outlined in the CSIRO Information Sheet No. 10-91 enclosed as Appendix 6 of this report.

10.0 CONCLUSIONS AND RECOMMENDATIONS

As a result of our investigations, inspections, testing and evaluations as detailed in this report, it is our professional opinion that each residential lot is suitable for the construction of residential dwellings constructed generally in accordance with NZS 3604:1999.

Fill depths on these lots range up to 14m. Given the standard of compaction achieved, it is considered that any settlement should be within acceptable limits.

This certification does not remove the necessity for the normal inspection and design of foundations as would be made under normal circumstances in accordance with the relevant New Zealand codes.

11.0 LIMITATIONS

The recommendations and opinions contained in this report are based on our visual reconnaissance of the site, information from geological maps, and the data from the field investigations and testing. Inferences about the nature and continuity of sub surface conditions away from and beyond the exploratory borehole logs are made, but cannot be guaranteed.

This report has been prepared for the particular project described to us, and no responsibility is accepted by Harrison Grierson Consultants Limited or its directors, servants, agents, staff, or employees for the use of any part of this report in any other context or for any other purposes.

The professional opinion expressed in this report is furnished to CARRUS LIMITED and PORIRUA CITY COUNCIL for their purposes only, on the express conditions that it is not be used or relied upon by any other person or entity or for any other project and on the understanding that where heavy or unusual constructions are proposed, then the building sites of concern will be specifically appraised by an engineer competent in geotechnical engineering. This opinion should be read in conjunction with the remainder of this report.

Yours faithfully
Harrison Grierson Consultants Limited

Phil Williams
Director

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LOT NO	CUT DEPTH	FILL DEPTH	SCADA TEST	Retaining Wall	COMMENTS
242	0 - 2	0 - 1	1		Building Line Restriction, Right of way & Drainage Easement
243		0 - 8			Building Line Restriction + Drainage Easement
244		0 - 9			Building Line Restriction + Drainage Easement
245		0 - 9			Building Line Restriction + Drainage Easement
246	0 - 1	0 - 7	1		Building Line Restriction + Drainage Easement
247	Minor	0 - 6	1		Drainage Easement
248		5 - 13			Drainage Easement
249		4 - 10			
250		9 - 14			Drainage Easement
321	6 - 9		1		
322	5 - 9		1		
323	5 - 7.5		1		
324	3 - 7		1		Drainage Easement
373	0 - 1	0 - 5			
374	0 - 1	0 - 4			Drainage Easement
375	Minor	0 - 7			
376		2 - 10			
377		4 - 15			
378		0 - 15			
379	0 - 2.5	0 - 8	1		
380	0 - 3	0 - 7	1		
381	0 - 2	0 - 4	1		
382	0 - 1.5	0 - 3	1		
383	0 - 5.5	0 - 1.5	1		
384	1 - 6		1		
385	1 - 5.5		1		
386	1 - 4		1		
387	0 - 1.5	0 - 3	1		
388	0 - 4	0 - 3.5	1		
389	0 - 4.5	0 - 8	1		
390		2 - 8			
391	0 - 0.5	0 - 8			
392		0 - 7			
393		0.5 - 6			
394	0 - 2	0 - 5	1		Drainage Easement
438		0 - 7			Drainage Easement
439	0 - 1	0 - 1	2		
440	0 - 1.5	0 - 4	1		
441	0 - 2.5	0 - 4	1		

To: The City manager
Porirua City Council
PORIRUA CITY

**STATEMENT OF PROFESSIONAL OPINION AS TO SUITABILITY
OF LAND FOR RESIDENTIAL DEVELOPMENT**

SUBDIVISION: Aotea Block, Stages 3C, 3D, 3E and 3G
OWNER/DEVELOPER: Carrus Limited
LOCATION: Aotea Drive, Porirua

I, Philip Walter Matthew Williams of Harrison Grierson Consultants Limited, 2-6 Gilmer Terrace, Wellington hereby confirm that:

1. The extent of my inspections during construction and the results of all tests carried out are described in my report no. 1850.000511.01, dated June 2005.
2. The residential lots within stages 3C, 3D, 3E and 3G are numbered 216 - 250, 321 - 324, 373 - 394 and 438 - 452. The local purpose reserve lots are numbered 607 and 610. The recreation reserve lots are numbered 2 and 4. The road reserves are numbered 502, 503, 504, 506 and 507. In my professional opinion, not to be construed as a guarantee, I consider that, based on the periodic reviews during construction, the earthworks on all lots are fit for their intended purpose, with limitations as described herein.
3. The soils at the site are considered to lie within the definition of "good ground" with respect to expansive clay, as defined in NZS 3604:1999.
4. The completed works give due regard to land slope and foundation stability considerations.
5. The fill as shown on Drawing No. 000511-3-AB205 has been placed in accordance with appropriate engineering principles for the development of building platforms, generally in accordance with the fill specification, NZS 4431:1989 "Code of Practice for Earthfill for Residential development", NZS 4404:2004 "Land Development and Subdivision Engineering" and the Porirua City Council Code of Urban Subdivision 1983. It is therefore appropriate for residential foundations in accordance with NZS 3604:1999.
6. Cut and/or natural ground (which occurs on part or all of lot numbers 216 - 222, 226 - 233, 236 - 238, 241 - 247, 321 - 324, 373, 374, 379 - 389, 394 and 439 - 446) are appropriate for residential foundations in accordance with NZS 3604:1999, except for areas beyond the "building restriction line" on lot nos. 241 to 246 inclusive.

7. This statement does not extend to reserve areas, retaining walls (including basement excavation retaining walls), or further site development cuts or fills which fall within the scope of the Building Act or which require Council resource consent. Construction of buildings closer to the base or top of a retaining wall than the height of the retaining wall will be subject to specific design.
8. This professional opinion is furnished to the Council and the owner/developer for their purposes alone on the express condition that it will not be relied upon by any other person and does not remove the necessity for the normal inspection of foundation conditions at the time of erection of any building.
9. This opinion should be read in conjunction with the accompanying foundation completion report, ref. 1850.000511.01, dated June 2005.

Signed Way Wilson Dated 09-08-05

000511-3A-AB200

DATE: 11/20/03

PROJECT No: 11200

DATE: 11/20/03

DATE: 02/20/03

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CARNUS LIMITED
NOTA BLOCK - PORIUA
STAGE 3
EARTHWORKS AS-BUILTS
FINISHED SUBGRADE CONTOURS

PROJECT: 11200

DATE: 11/20/03

DATE: 11/20/03

DATE: 11/20/03

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DATE: 11/20/03

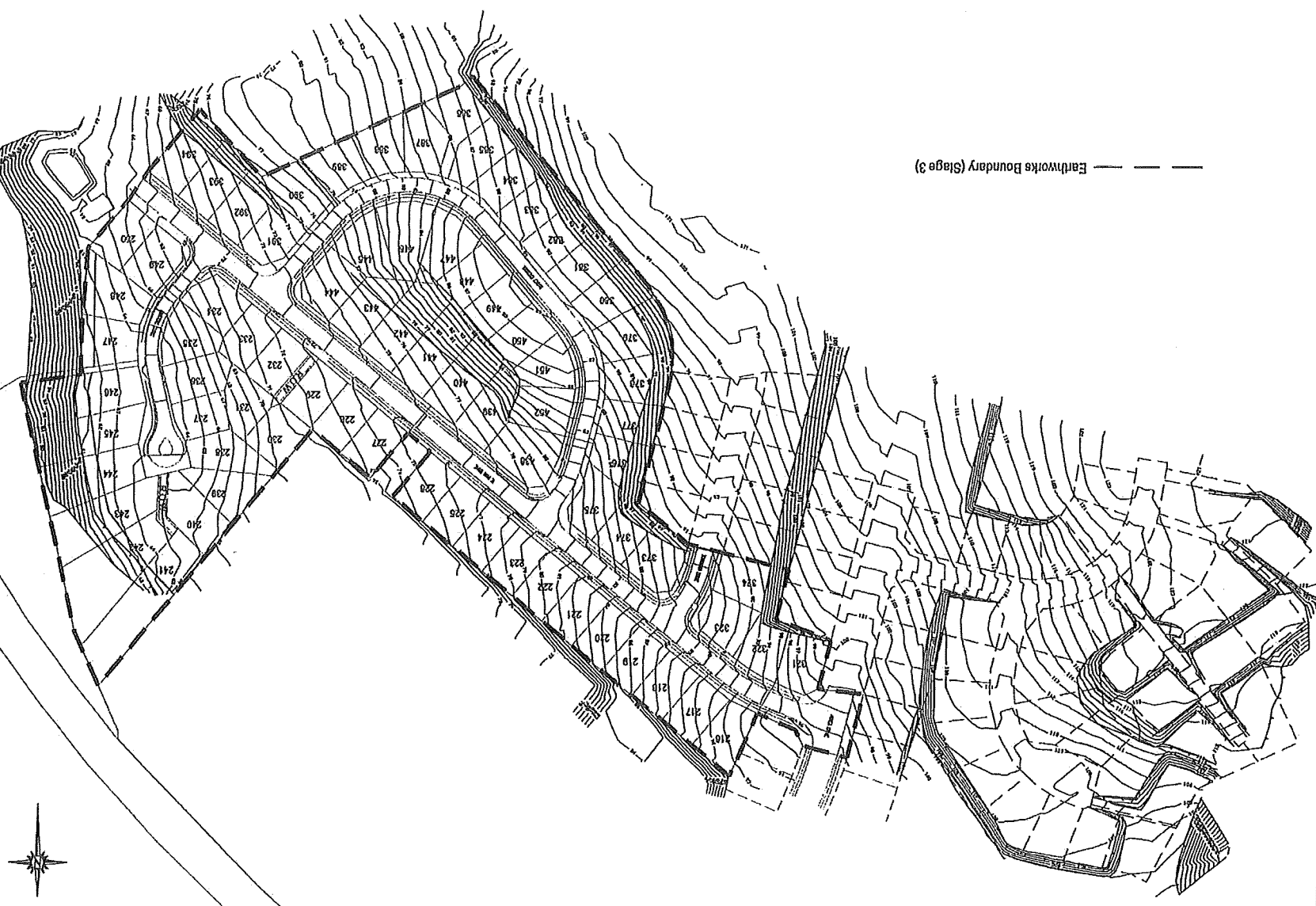
DATE: 11/20/03

DATE: 11/20/03

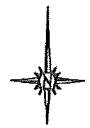
DATE: 11/20/03

DATE: 11/20/03

NOTES:
 1. CONTOURS ARE AT 1.0m INTERVALS
 2. TOPSOIL OF APPROX. 0.2m HAS BEEN Laid
 ON ALL SUBGRADE



--- Earthworks Boundary (Stage 3)



ASSOCIATION OF CONSULTING
 ENGINEERS NEW ZEALAND
 QUALITY
 ASSURED

150 9001

DATE	02/20/03	DESCRIPTION	ISSUE
DATE	05/27/03	DESCRIPTION	ISSUE
DATE	05/27/03	DESCRIPTION	ISSUE
DATE	09/22/03	DESCRIPTION	ISSUE
DATE	10/01/03	DESCRIPTION	ISSUE
DATE	10/01/03	DESCRIPTION	ISSUE
DATE	10/01/03	DESCRIPTION	ISSUE
DATE	10/01/03	DESCRIPTION	ISSUE
DATE	10/01/03	DESCRIPTION	ISSUE
DATE	10/01/03	DESCRIPTION	ISSUE

PROJECT: CARRUS LIMITED
 AOTEA BLOCK - PORIRUA
 STAGE 3
 TITLE: EARTHWORKS AS-BUILTS
 CUT - FILL CONTOURS

ISO 9001
 QUALITY
 ASSURANCE
 ASSOCIATION OF CONSULTING
 ENGINEERS NEW ZEALAND

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NOTES:
 1. CONTOURS ARE AT 1.0m INTERVALS.
 2. CONTOURS ARE BETWEEN NATURAL SUBGRADE AND CONSTRUCTION SUBGRADE.
 3. NATURAL SUBGRADE CONTAINS ALL TOPSOIL REMOVAL AND UNDERCUTTING OF UNSUITABLE MATERIAL.

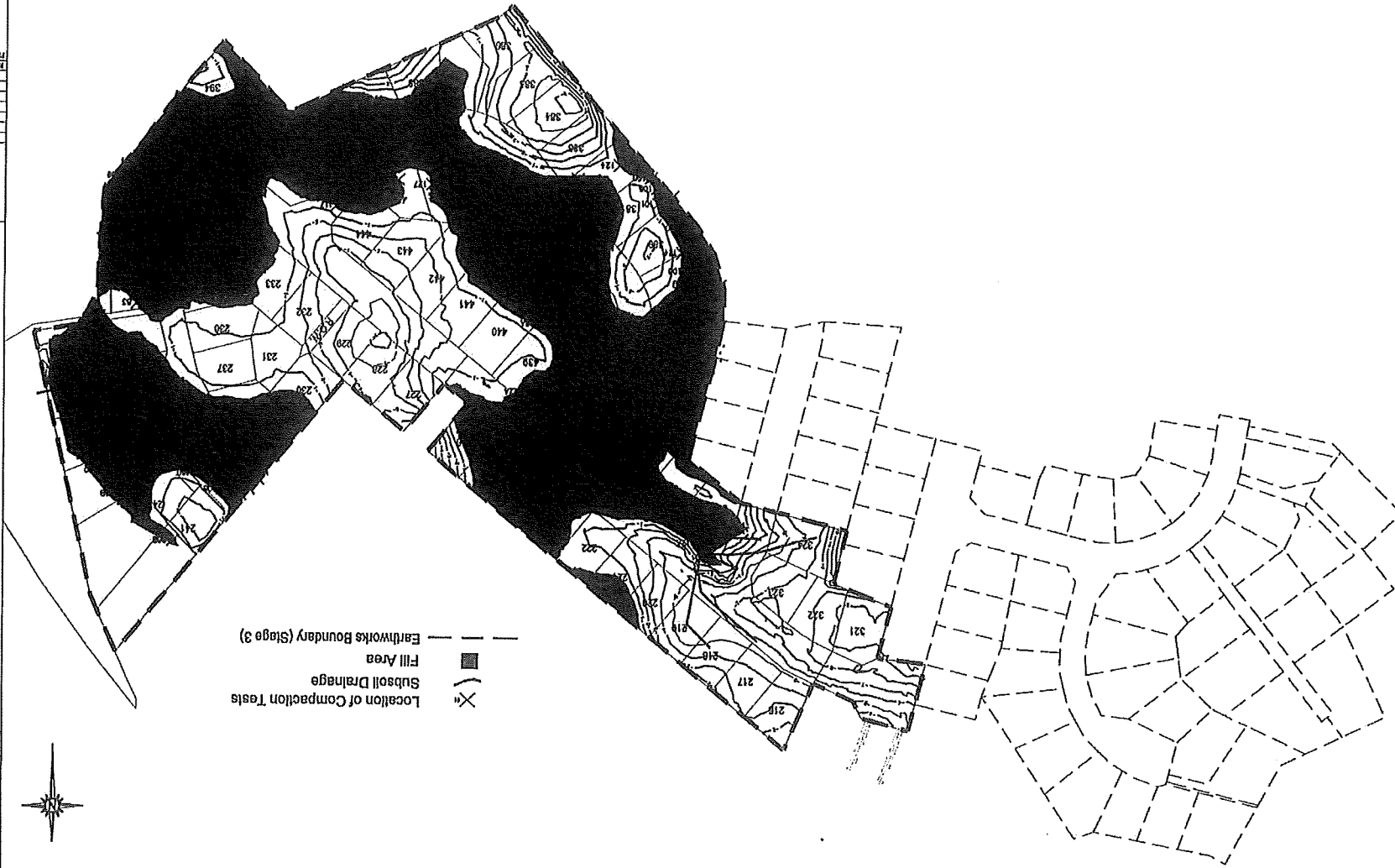
Legend:
 ■ Fill Area
 --- Earthworks Boundary (Stage 3)



000511-3A-AB201
 A

SOIL TESTS

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104	Test No.	02/25	Test Date	25 February 2005
105	Test No.	02/26	Test Date	26 February 2005
106	Test No.	02/27	Test Date	27 February 2005
107	Test No.	02/28	Test Date	28 February 2005
108	Test No.	02/29	Test Date	29 February 2005
109	Test No.	02/30	Test Date	30 February 2005
110	Test No.	03/01	Test Date	01 March 2005
111	Test No.	03/02	Test Date	02 March 2005
112	Test No.	03/03	Test Date	03 March 2005
113	Test No.	03/04	Test Date	04 March 2005
114	Test No.	03/05	Test Date	05 March 2005
115	Test No.	03/06	Test Date	06 March 2005
116	Test No.	03/07	Test Date	07 March 2005
117	Test No.	03/08	Test Date	08 March 2005
118	Test No.	03/09	Test Date	09 March 2005
119	Test No.	03/10	Test Date	10 March 2005
120	Test No.	03/11	Test Date	11 March 2005
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125	Test No.	03/16	Test Date	16 March 2005
126	Test No.	03/17	Test Date	17 March 2005
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195	Test No.	05/25	Test Date	25 May 2005
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199	Test No.	05/29	Test Date	29 May 2005
200	Test No.	05/30	Test Date	30 May 2005



000511-AB-252

PROJECT NO. 000511-AB-252
 LOCAL 11/000 (NA)
 DRAWING NO. 11/000 (NA)
 DATE 11/000 (NA)

PROJECT: EARTHWORKS AS-BUILTS
 TITLE: SOIL TEST & SUBSOIL LOCATION
 STAGE 3
 CANRUS LIMITED
 AOTEA BLOCK - PORIRUA

PROJECT: /
 DRAWING: /
 DATE: /

REVISIONS:

NO.	REVISION	BY	DATE

CONSULTING ENGINEERS SURVEYORS PLANNERS
HARRISON O'BRIEN

11/000 (NA) 11/000 (NA) 11/000 (NA) 11/000 (NA)

NOTES:
 1. CONTOURS ARE AT 1.0m INTERVALS.
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 3. NATURAL SUBGRADE CONTAINS ALL TOPSOIL, REMOVAL AND UNDERCUTTING OF UNSUITABLE MATERIAL.

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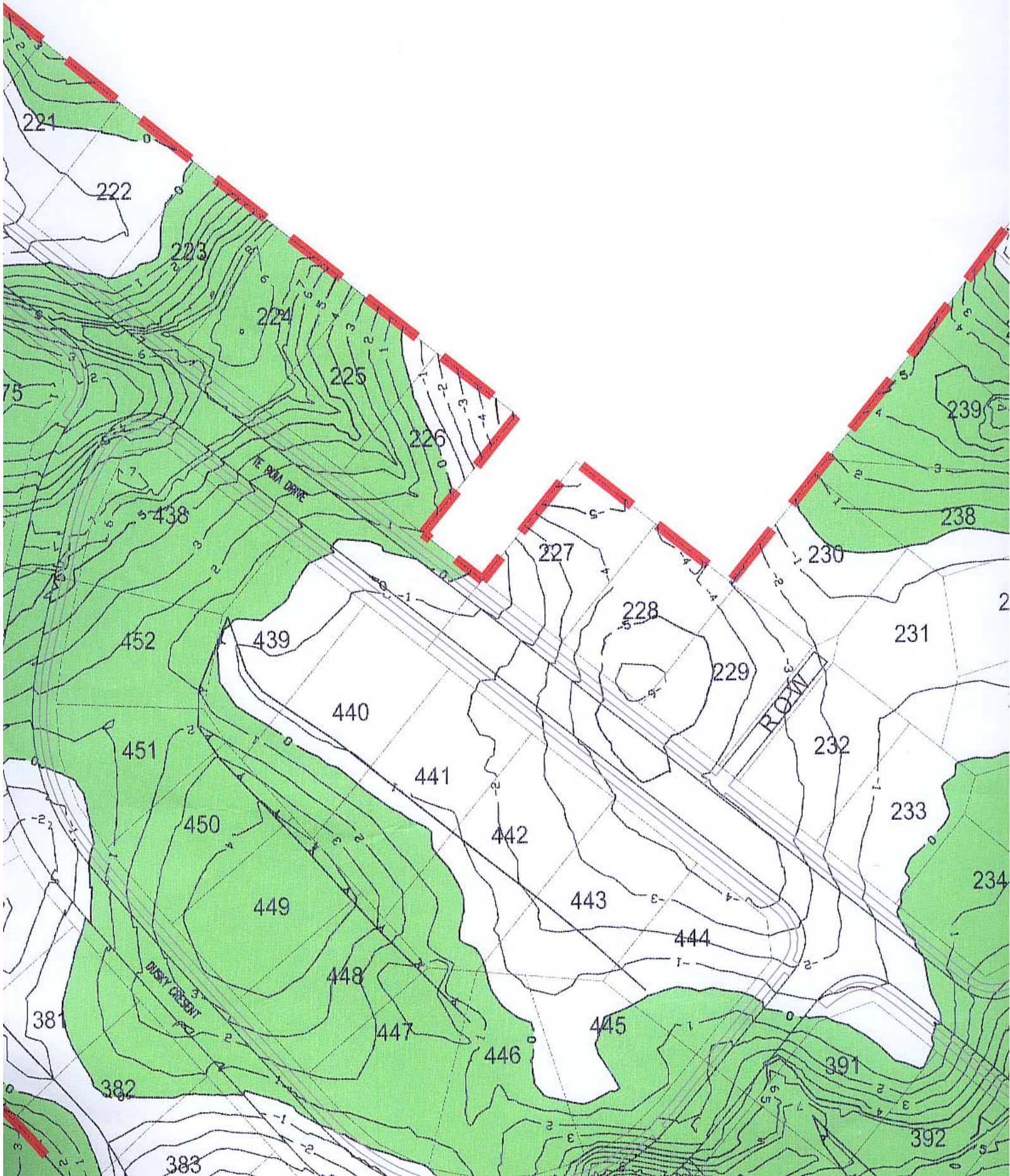
ASSOCIATION OF CONSULTING ENGINEERS NEW ZEALAND
 150 9501 QUALITY ASSURED



Fill Area



Earthworks Boundary (Stage 3)



44A (2)(b); Information on Private and Public Stormwater and Sewerage drains

Note: In most cases, private drainage is the responsibility of the landowner up to and including the point of connection to the public sewer or drain.

ONSITE SEWAGE DISPOSAL

All applicant queries if NOT Council sewer main to the Environmental Health Team environmentalhealth@pcc.govt.nz
All applicant queries if YES Council sewer main to the Water & Waste Team cciwateranddrainage@porirua.govt.nz

- Connected to Councils sewer main

ONSITE WATER SUPPLY

For further information contact info@wellingtonwater.co.nz

- Connected to Councils water main

WATER TOBY LOCATION

For further information contact info@wellingtonwater.co.nz

- Known, for further information please contact Wellington Water or Porirua City Council, Utilities Department

WASTEWATER & STORMWATER DRAINAGE – ANY KNOWN ISSUES?

For further information contact info@wellingtonwater.co.nz

Particulars of Contravention or Non-Compliance	Date	Status
No information held by Porirua City Council		

**An inspection report in regard to any pipe issues identified and repairs made may be confidential and will only be made available on request. Please contact Wellington Water for further information on 04 912 4470*

44A (2) (ba); (bb) Drinking-water supplier

For further information contact info@wellingtonwater.co.nz

44A (2) (ba) Any information that has been notified to the territorial authority by a drinking-water supplier under section 69ZH of the Health Act 1956. Also, 44A (2) (bb)

44A (2) (bb) Information on:

- whether the land is supplied with drinking water? **YES**
- if yes, whether the supplier is the owner of the land or a networked supplier? **N/A**
- if the land is supplied with water by the owner of the land, any information the territorial authority (in this case Porirua City Council) has about the supply, **A1 Grade PCC Water Supply**

Attachments:

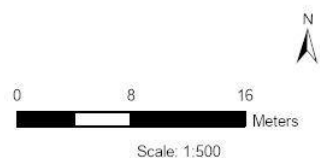
Aerial photo with Council Utilities
Drainage Plans – Private

Water Services



LEGEND

Please see overleaf for the water services legend.



Created on 9 May 2024

DISCLAIMER


Sourced from Land Information New Zealand. CROWN COPYRIGHT RESERVED. The information displayed in the map has been taken from Porirua City Council's databases and GIS. It is made available in good faith but its accuracy or completeness is not guaranteed. If the information is relied on in support of any resource consent application process it should be verified independently.

LEGEND

ABANDONED UNDERGROUND SERVICES

-  Abandoned Stormwater Node
-  Abandoned Wastewater Pipe
-  Abandoned Stormwater Pipe



WATER

-  Water Hydrant

WATER VALVE

-  Fire Service
-  Water Valve
-  Service Valve
-  all other values



WATER RESERVOIR OR TANK

-  PCC
-  Private
-  <all other values>
-  Water Pumpstation
-  Water Pump
-  Water Meter
-  Water Fitting








WATER PIPE

-  Water Pipe
-  Service Connection
-  Rider Main
-  <all other values>

WASTEWATER

-  Wastewater Pumpstation
-  Wastewater Pump

WASTEWATER NODE




-  Manhole
-  Lamphole
-  Valve
-  Chamber
-  Pump or Pumpstation
-  All other values
-  all other values

WASTEWATER PIPE DIRECTIONALITY

-  Trunk Main
-  Rising Main
-  Wastewater Pipe
-  <all other values>

WASTEWATER PIPE

-  Trunk Main
-  Rising Main

-  Wastewater Pipe
-  <all other values>
-  Wastewater Connection Pipe

 Parcel




STORMWATER

-  Stormwater Pumpstation






STORMWATER NODE

-  Manhole
-  Lamphole
-  Sump
-  Inlet
-  Outlet
-  Stormwater Node
-  all other values

STORMWATER PIPE DIRECTIONALITY

-  Stormwater Pipe
-  Sump Lead
-  all other values

STORMWATER PIPE







-  Stormwater Pipe
-  Sump Lead
-  <all other values>
-  Stormwater Open Channel
-  Stormwater Connection Pipe

BULK WATER







WATER RESERVOIR

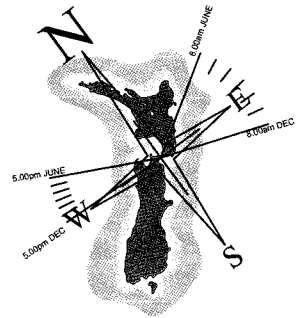
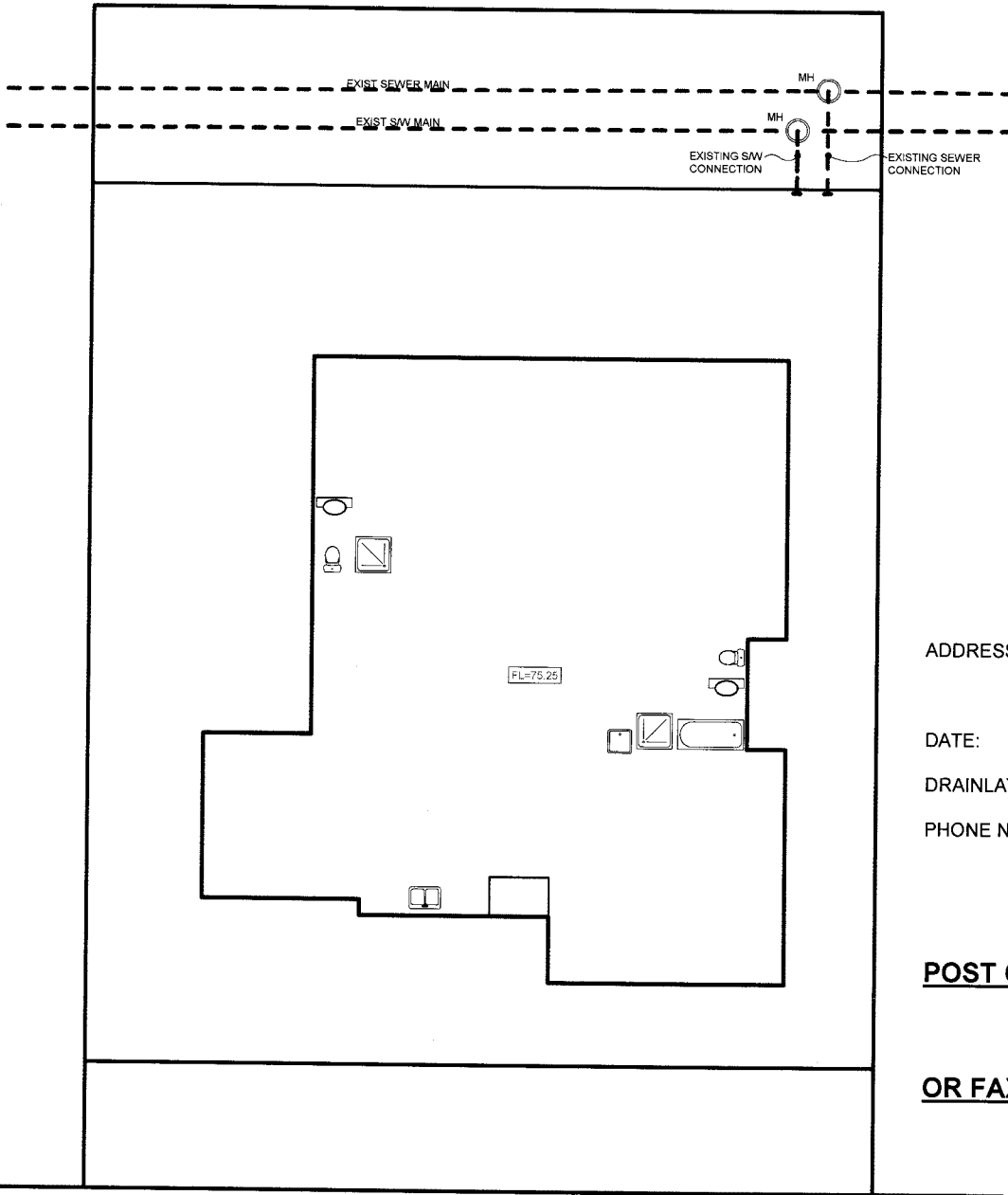
-  In Use
-  Abandoned
-  <Null>
-  <all other values>
-  Bulk Water Hydrant

BULK WATER VALVE

-  Closed
-  Open
-  Other
-  Bulk Water Pumpstation
-  Bulk Water Meter
-  Bulk Water Fitting

BULK WATER PIPE

-  Bulk Water Transmission Main
-  Bulk Water Intake Main
-  Bulk Water Discharge Pipe
-  Bulk Water Other Pipe
-  Abandoned Bulk Water Pipe
-  Virtual Bulk Water Pipe



ADDRESS: _____

DATE: _____

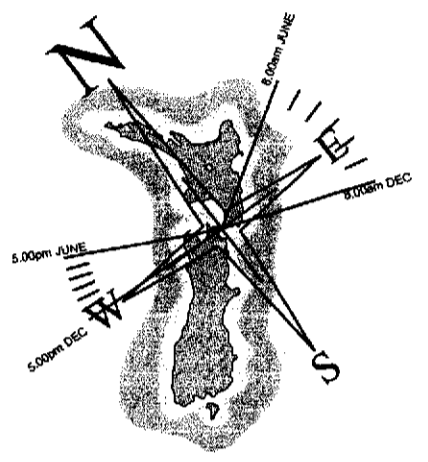
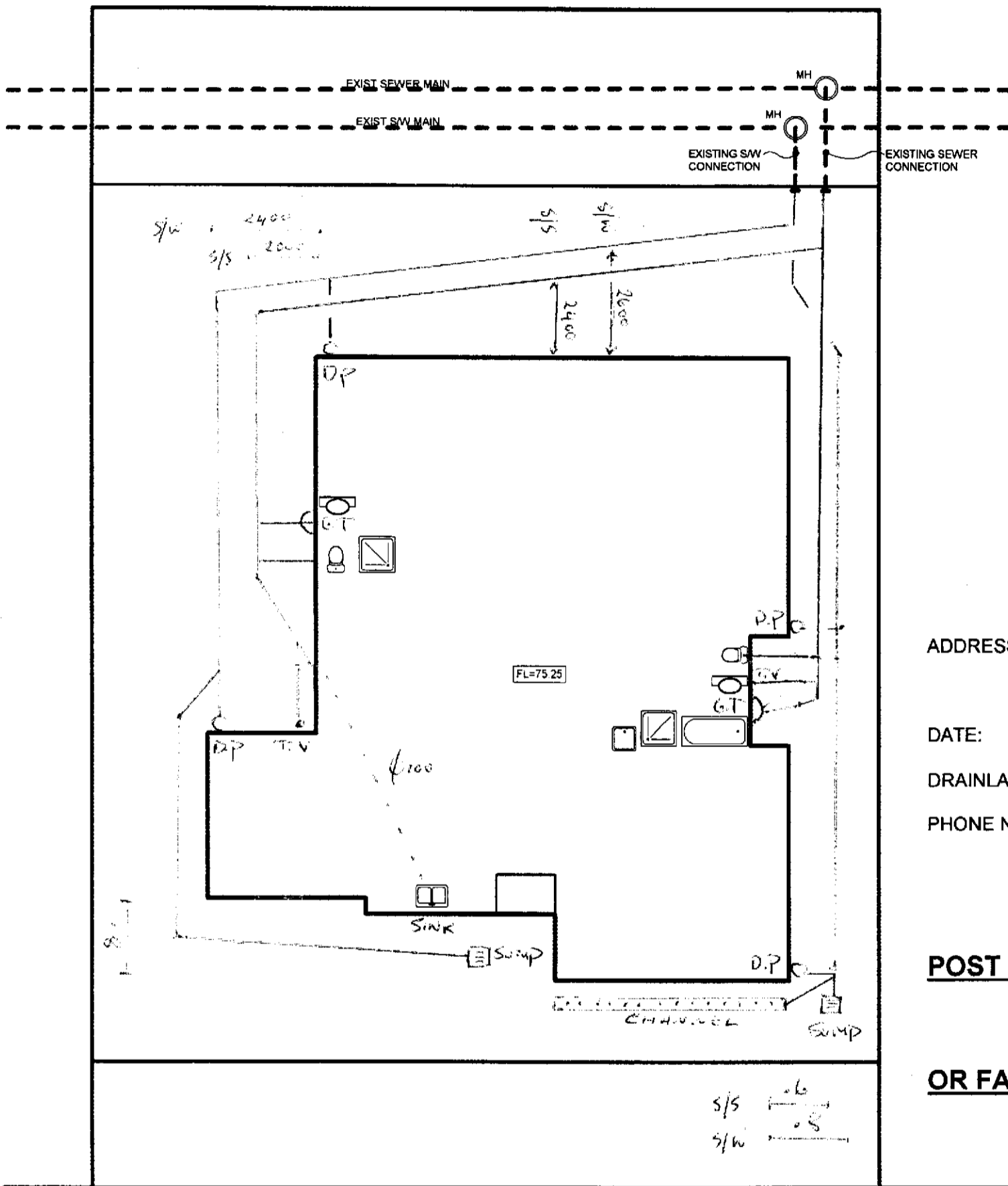
DRAINLAYER: _____

PHONE No _____

POST COPY TO: DESIGN NETWORK
 P.O. BOX 30614
 LOWER HUTT

OR FAX: 569-1186
 REF:4586

AS LAID DRAINAGE PLAN



ADDRESS: 23 TE POI A

DATE: _____

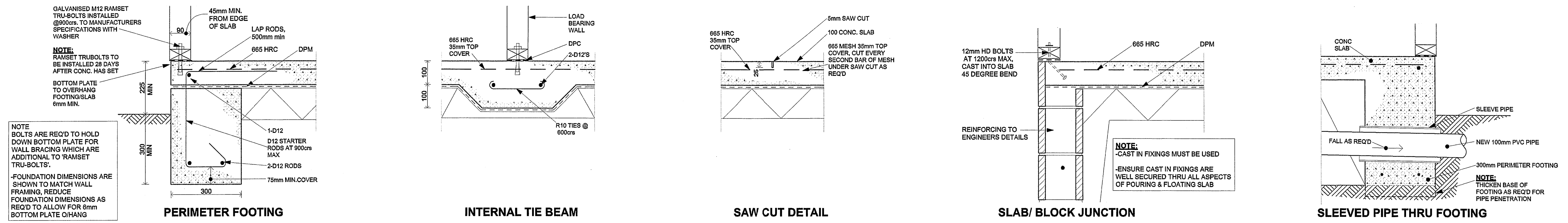
DRAINLAYER: MIKE PLUMBING & DRAINAGE PROF

PHONE No 021 434 825

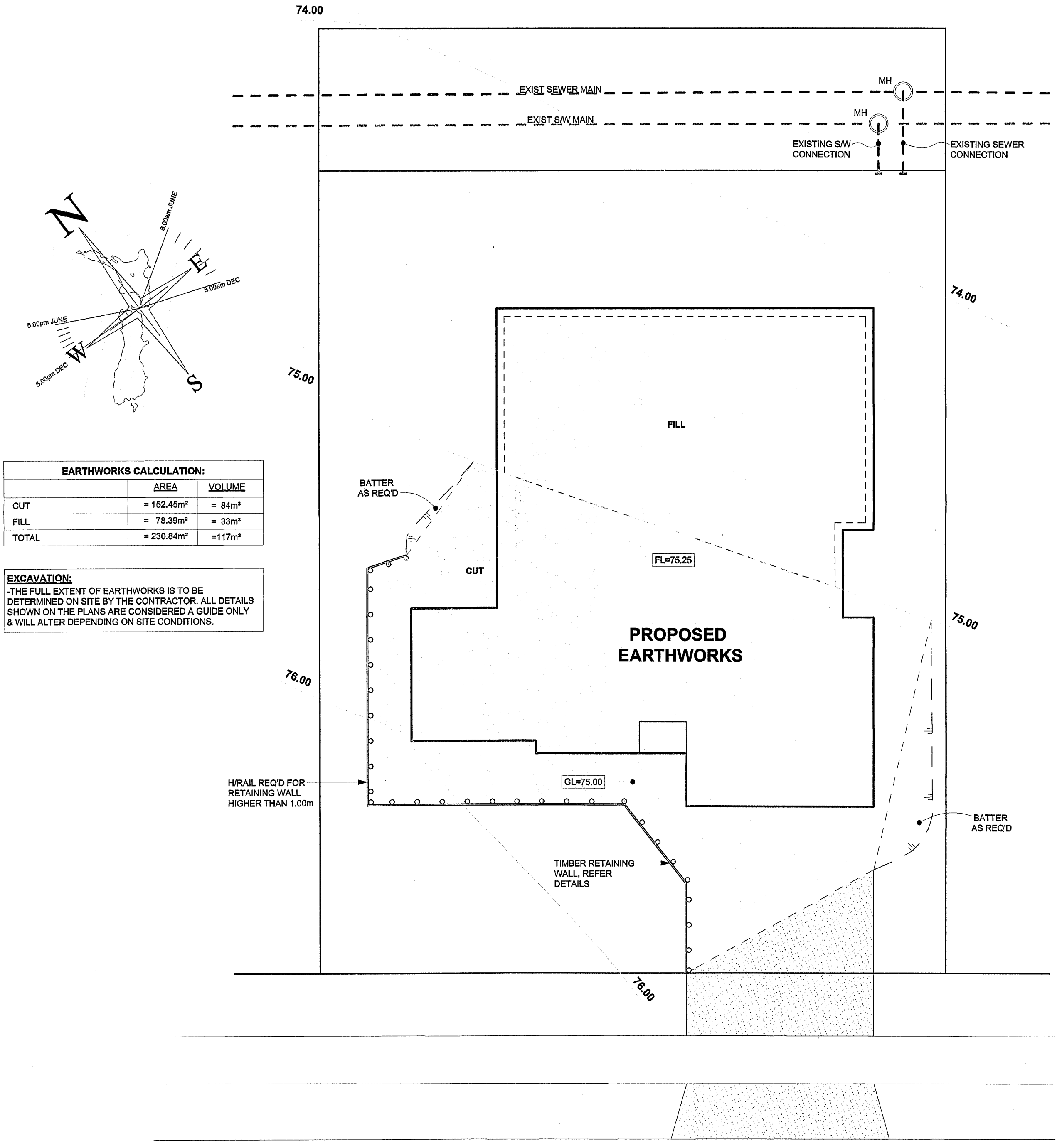
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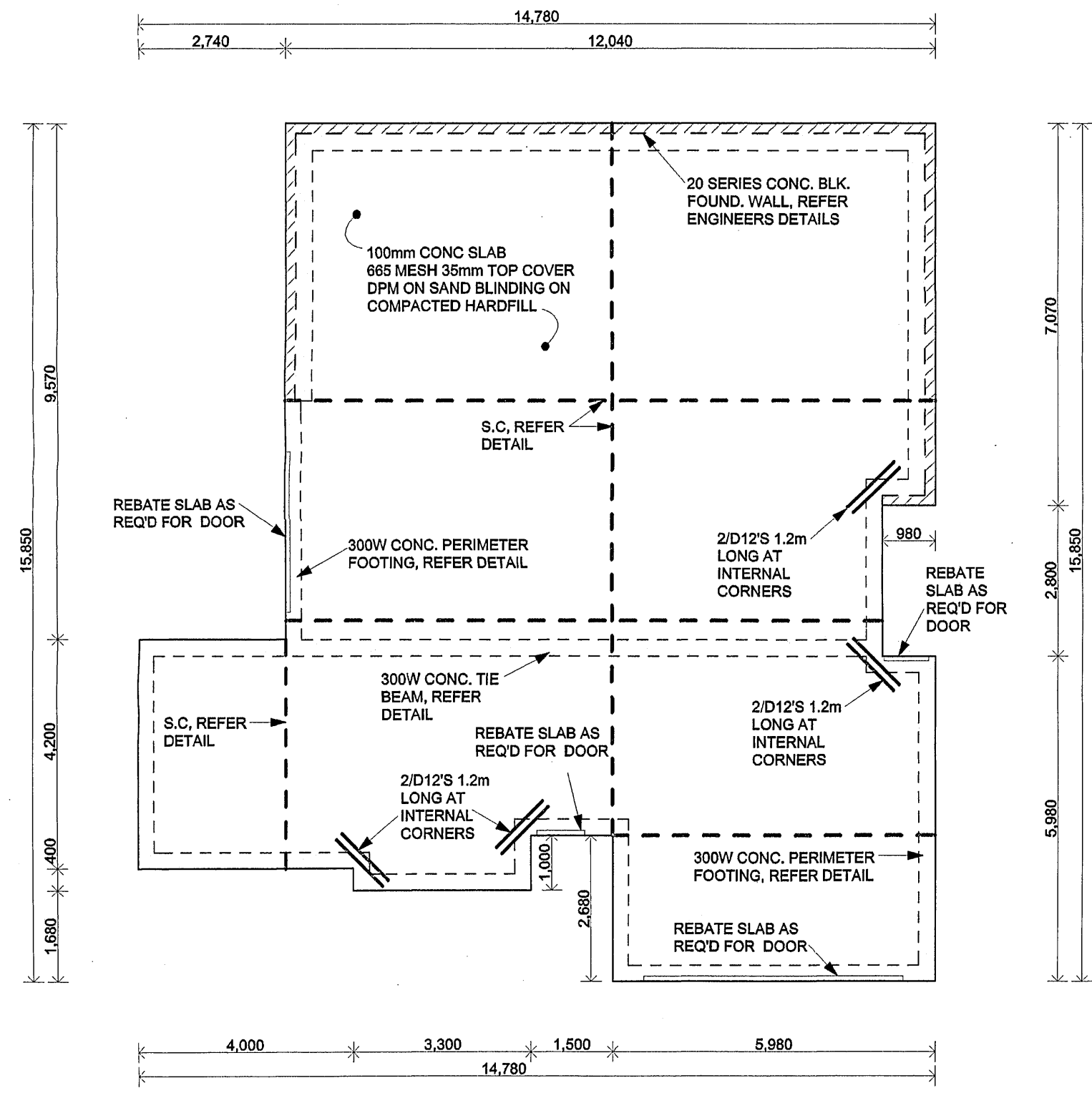
AS LAID DRAINAGE PLAN



FOUNDATION DETAILS



EARTHWORKS PLAN



FOUNDATION PLAN

FOUNDATION NOTES:

- F.L TO 225mm MIN ABOVE G.L
- F.L TO BE 150mm MIN ABOVE SEALED AREAS
- ALL REINFORCING STEEL TO BE GRADE 300 UNLESS OTHERWISE INDICATED
- ALL TOPSOIL TO BE REMOVED & REPLACED WITH APPROVED HARDFILL & COMPACTED TO 95% OF NZ STANDARD SPECIFICATION
- SAWCUTS TO BE DONE WITHIN 36 HOURS OF POURING SLAB
- IT IS RECOMMENDED THAT THE CURING OF CONCRETE WITH CONTINUOUS SPRINKLING, BE ADHERED TO FOR A MINIMUM OF 4 DAYS & TO NZS: 3109 REQUIREMENTS
- MINIMUM 28 DAYS CONCRETE COMPRESSION STRENGTH TO BE 20mpa
- ALL CONCRETE FOOTINGS TO BE COMPACTED WITH A VIBRATOR
- ENSURE SITE IS FREE OF TOPSOIL OR ORGANIC MATERIAL. EXCAVATE AS REQ'D
- ENGINEER TO INSPECT ALL FOUNDATIONS PRIOR TO POURING CONCRETE.
- CONTACT: **ISP CONSULTING ENGINEERS**
MR. STUART PRESTON
PH. 5688004
- FOUNDATION DIMENSIONS ARE SHOWN TO MATCH WALL FRAMING, REDUCE FOUNDATION DIMENSIONS AS REQ'D TO ALLOW FOR 6mm BOTTOM PLATE OHANG

HARDFILL:

GRANULAR FILL MATERIAL SHALL BE PLACED AND COMPACTED IN LAYERS OF 150mm MAX. THICKNESS BENEATH THE SLAB.

VIBRATING PLATE COMPACTORS ARE TO BE USED IN FORMING A WELL COMPACTED GRANULAR FOUNDATION.

GRANULAR FILL MATERIAL SHALL BE COMPOSED OF ROUNDED GRAVEL, CRUSHED ROCK, OR SCORIA AND:

(A) NOT MORE THAN 5% SHALL PASS THROUGH A 2.2mm SIEVE AND:

(B) 100% SHALL PASS EITHER:
(i) A 19mm SIEVE FOR ANY FILL THICKNESS; OR
(ii) A 37.5mm SIEVE FOR A FILL THICKNESS EXCEEDING 100mm

BC40 BASECOURSE WITH MAXIMUM PARTICLE SIZE OF 40mm & TC20 TOPCOURSE WITH MAXIMUM PARTICLE SIZE OF 20mm.

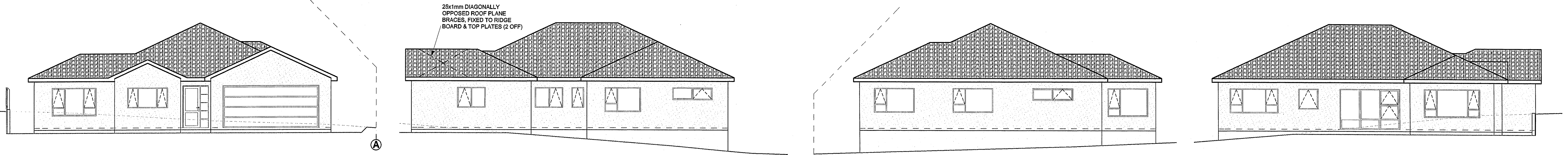
THE TOP SURFACE OF THE GRANULAR BASE SHALL BE A MATERIAL THAT WILL NOT PUNCTURE THE DPM; ie SAND

DURABILITY:CORROSION ZONE 1	
CONNECTIONS TO TREATED PILES WITHIN 600mm OF GROUND LEVEL.	TYPE 304 STAINLESS STEEL OR HOT DIPPED GALVANISED PLUS ADDITIONAL PROTECTION.
CONNECTIONS TO TREATED PILES ABOVE 600mm OF GROUND LEVEL.	TYPE 304 STAINLESS STEEL OR HOT DIPPED GALVANISED PLUS ADDITIONAL PROTECTION.
CONNECTIONS IN ROOF SPACES INCLUDING NAILPLATES, TIES, BOLTS WIRE DOGS etc.	HOT DIPPED GALVANISED
CONNECTIONS - SHELTERED LOCATIONS.	TYPE 304 STAINLESS STEEL OR HOT DIPPED GALVANISED PLUS ADDITIONAL PROTECTION.
CONNECTIONS - EXPOSED LOCATIONS.	TYPE 304 STAINLESS STEEL OR HOT DIPPED GALVANISED PLUS ADDITIONAL PROTECTION.
FLASHINGS - HIDDEN.	Z450 GALVANISED STEEL PLUS PROTECTIVE COATING TYPE 304 & 316 STAINLESS STEEL, ALUMINIUM, BUTYL RUBBER.
FLASHINGS - EXPOSED.	Z450 GALVANISED STEEL PLUS PROTECTIVE COATING TYPE 304 & 316 STAINLESS STEEL, ALUMINIUM, BUTYL RUBBER, COPPER, ZINC.

REV. No	REV. DATE	DRAWING AMENDMENT

DESIGNED	KC	START DATE	20-09-05
DRAWN	RB	REV. DATE	02-12-05
CHECKED	KC	FINISH DATE	02-12-05

WORKING DRAWINGS
SCALES
1:10, 1:50, 1:100

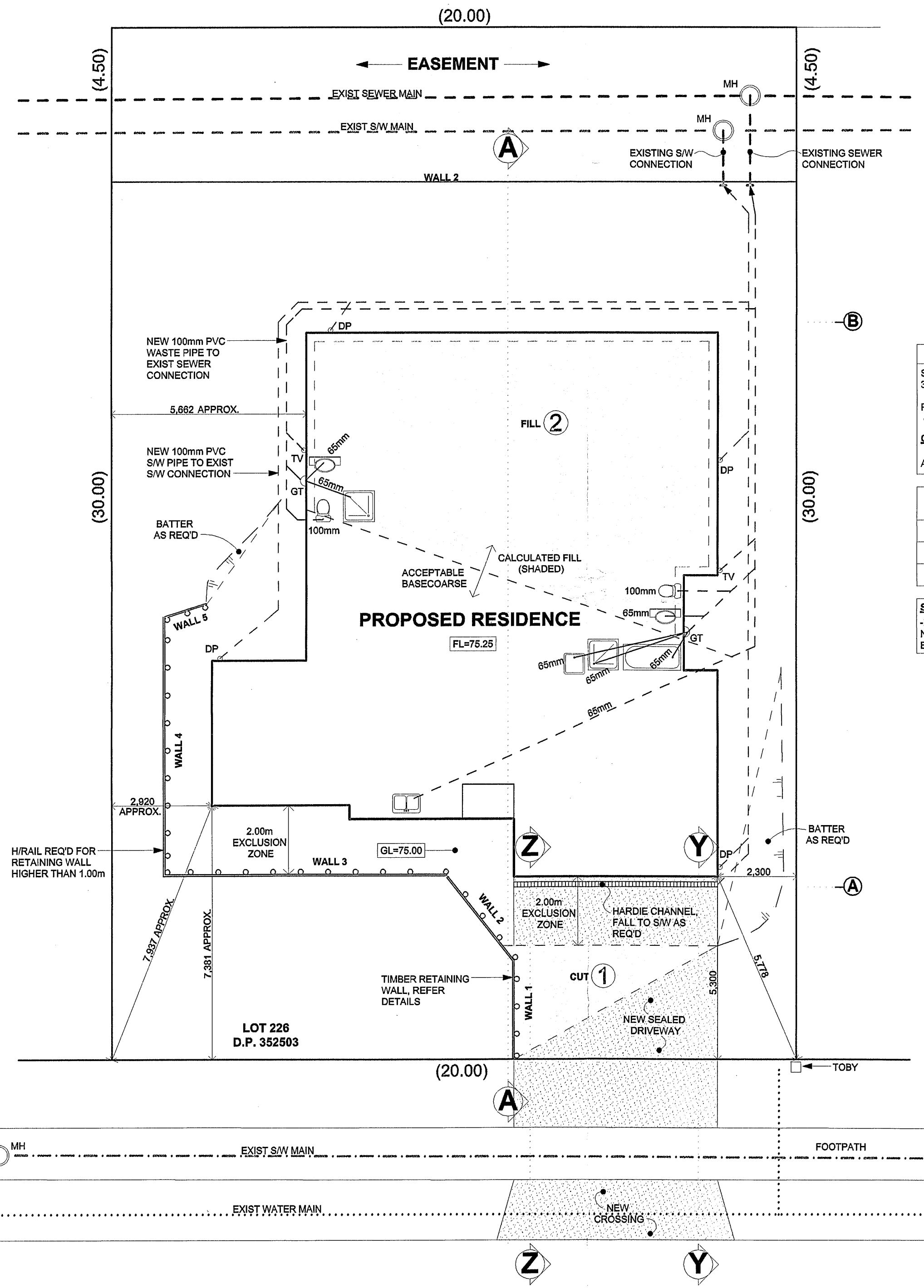


SOUTH WEST

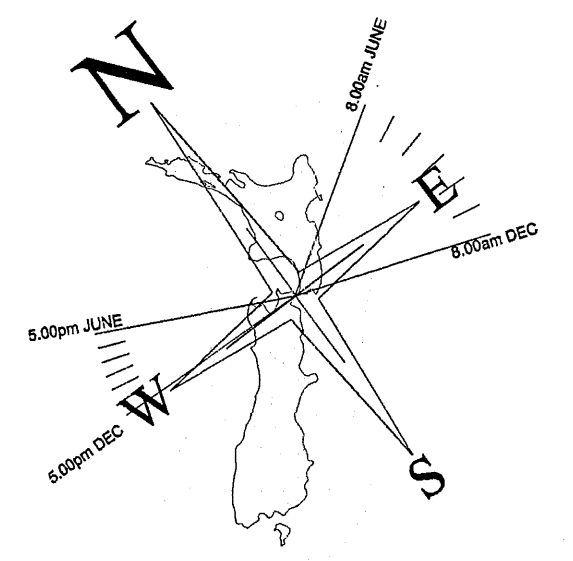
SOUTH EAST

NORTH EAST

NORTH WEST



**LOT 226, TE PUIA DRIVE
SITE PLAN**



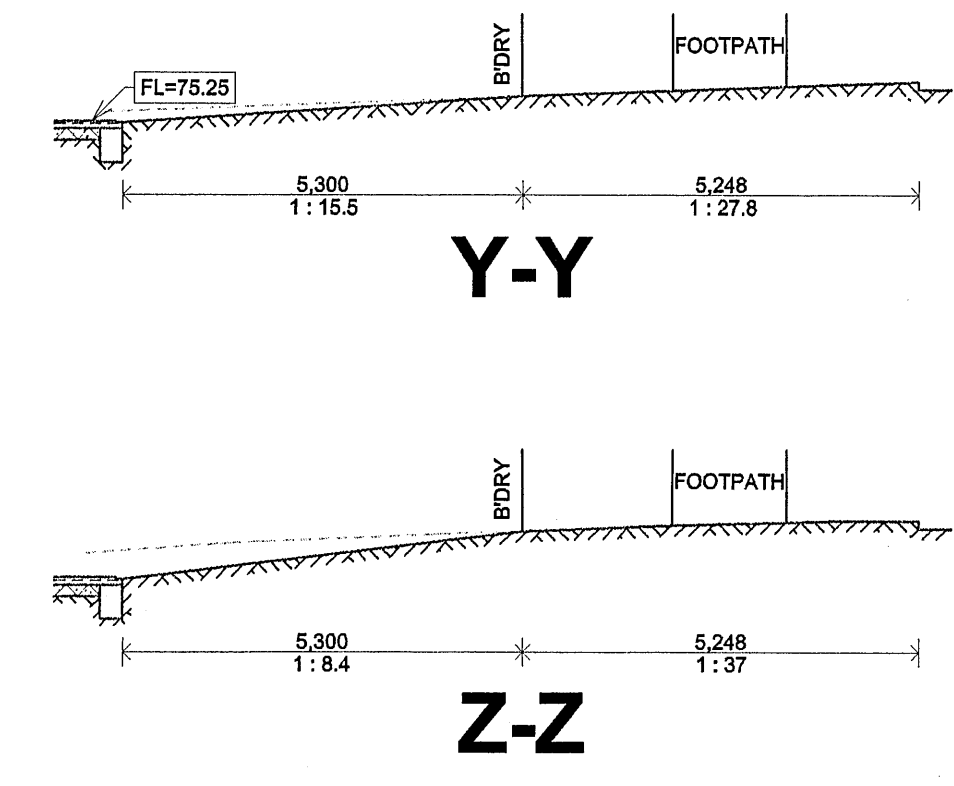
COVERAGE:	
SITE 35%	=600.00m ²
PROPOSED RESIDENCE (INCLUDING EAVES)	=210.00m ²
COVERAGE	= 34.87%
AREA REMAINING	= 0.16m ²

COUNCIL EARTHWORKS CALCULATIONS	
CUT ①	= 9.85m ³
FILL ②	= 78.39m ³
TOTAL	= 88.24m³

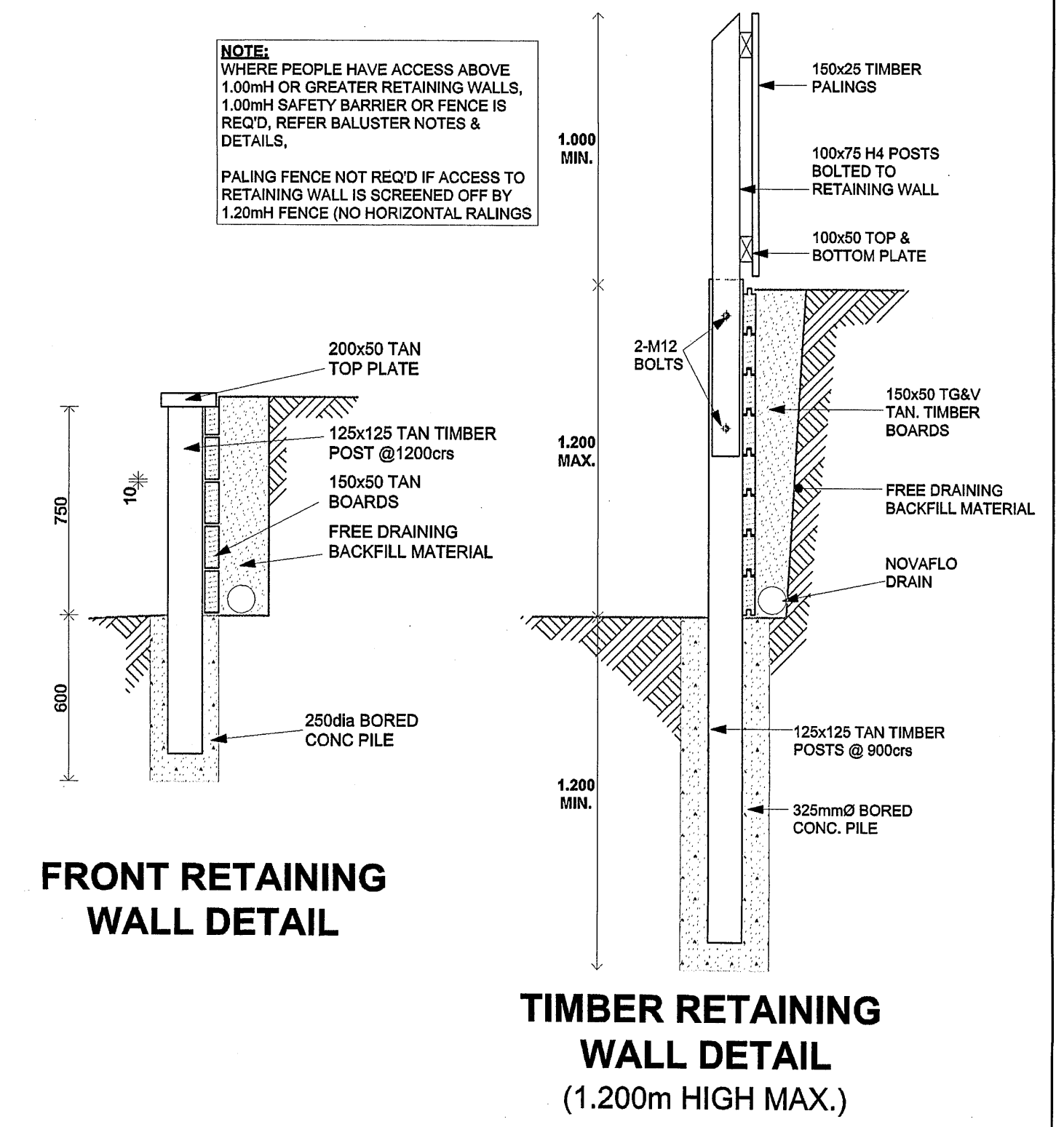
PIPED SERVICES:	
-ALL PIPED SERVICES FROM THE BUILDING TO BE UPVC MATERIAL MANUFACTURED IN ACCORDANCE TO AS/NZS1260	
-ALL NEW S/W & SEWER DRAINAGE PIPES TO BE INSTALLED TO EXISTING SYSTEM OR EXISTING CONNECTION	
-ALL PLUMBING TO BE INSTALLED TO AS/NZS 3500.5, SECTION 4	
-ALLOW TO SLEEVE ALL PIPED SERVICES THRU CONC. FOOTINGS AS REQ'D, REFER DETAIL.	
-ALL DP'S TO BE 80mm uPVC UNLESS OTHERWISE STATED	

WATER SUPPLY:	
-LAY A MINIMUM OF 450mm BELOW G.L. FROM TOBY BOX TO BUILDING WITH POLYBUTYLENE PIPE.	
-RUN PIPES COMPLETE WITH ALL FITTINGS & JOINED TO THE MANUFACTURERS SPECIFICATION. ALL TO AS/NZS 3500.5, SECTION 2.	
-ALLOW FOR 2 EXTERNAL HOSE TAPS, LOCATION TO BE CONFIRMED ON SITE WITH OWNER.	

SURVEYOR:	
-IT IS RECOMMENDED THAT A SURVEYOR SET OUT ALL NEW BUILDING WORK & TO CONFIRM ALL BOUNDARY SET BACKS & LEVELS PRIOR TO CONSTRUCTION COMMENCING	



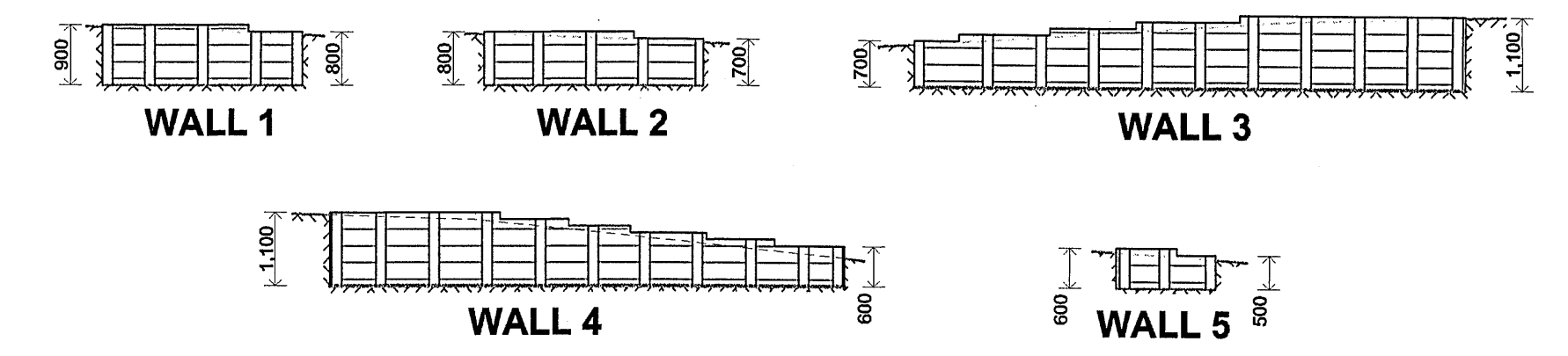
SECTIONS THRU DRIVE



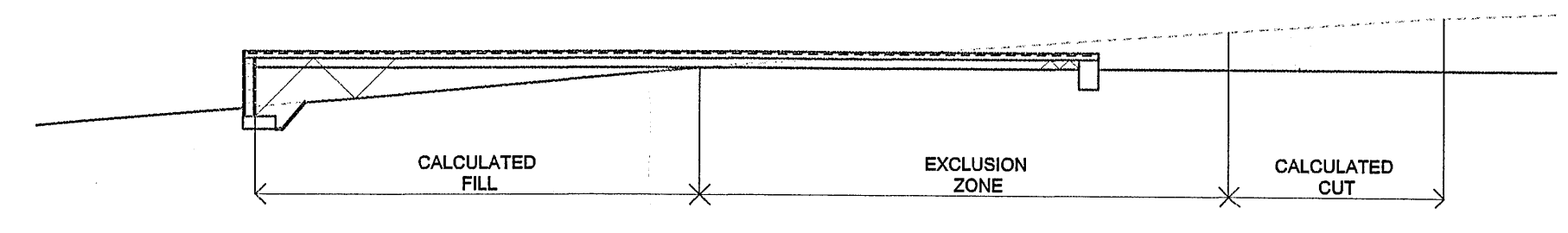
**TIMBER RETAINING WALL DETAIL
(1.200m HIGH MAX.)**

BUILDING RISK MATRIX:					
RISK MATRIX CALCULATED FOR SOUTH-WEST ELEVATION					
RISK FACTOR	LOW	MEDIUM	HIGH	VERY HIGH	SUB-TOTAL
WIND ZONE	0	0	1	2	1
NO. OF STOREYS	0	1	2	4	0
ROOFWALL	0	1	3	5	0
EAVES WIDTH	0	1	2	5	2
ENVELOPE COMPLEXITY	0	1	3	6	0
DECKS & BALCONIES	0	2	4	6	0
TOTAL					3

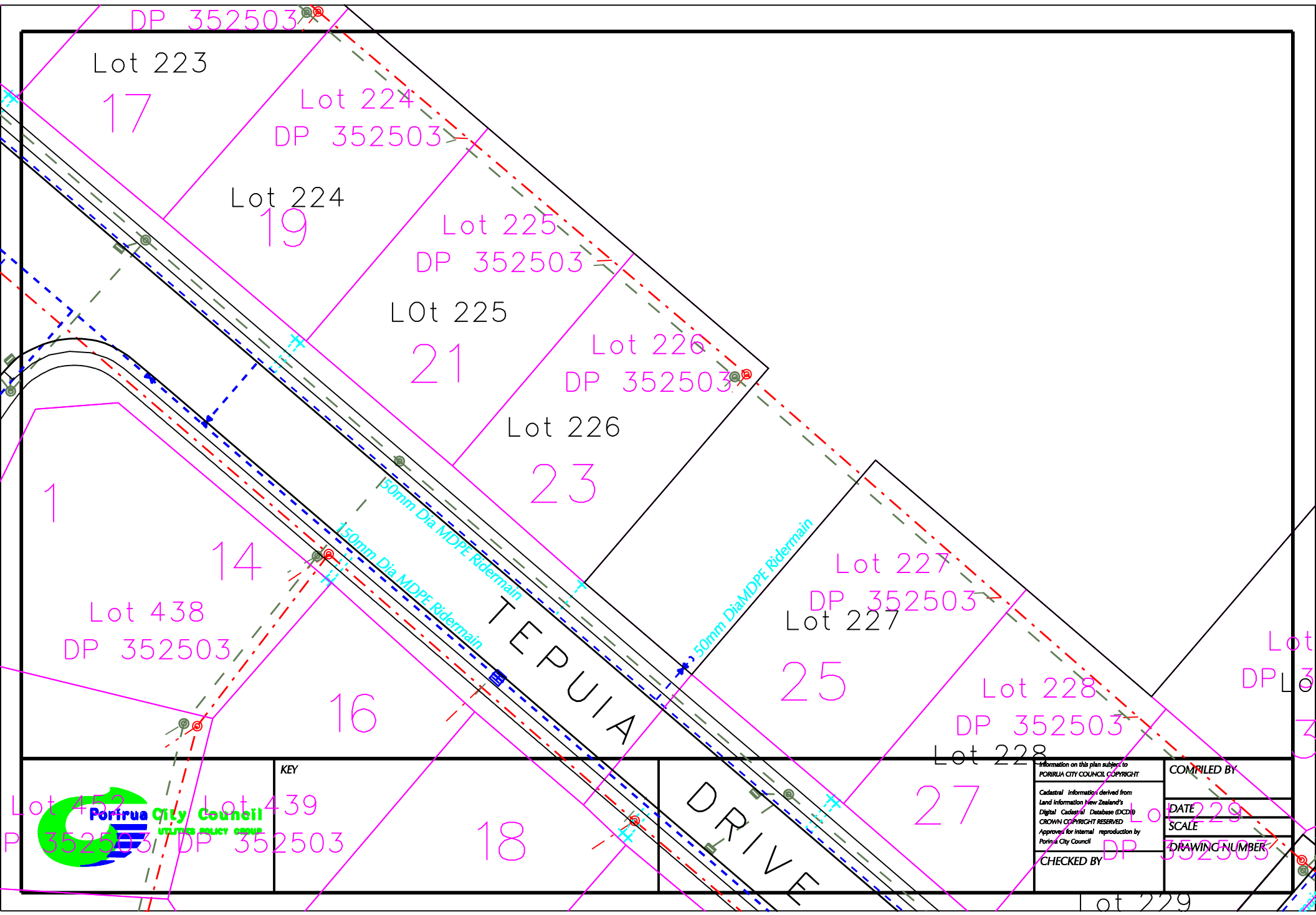
SUITABLE WALL CLADDINGS:		
TOTAL SCORE	DIRECT FIXED CLADDING	OVER 20mm MIN. DRAINED CAVITY
0-6	A) TIMBER W/B'DS- ALL TYPES B) FIBRE CEMENT W/B'DS C) VERTICAL PROFILED METAL -CORRUGATED & SYMMETRICAL TRAPEZOIDAL ONLY D) FIBRE CEMENT SHEET E) PLYWOOD SHEET F) EIFS	A) MASONARY VENEER B) STUCCO C) HORIZONTAL PROFILED METAL -CORRUGATED & TRAPEZOIDAL ONLY



ELEVATIONS OF RETAINING WALLS



**A-A
EARTHWORKS SECTIONS**



KEY



Information on this plan subject to PORIRUA CITY COUNCIL COPYRIGHT Cadastral information derived from Land Information New Zealand's Digital Cadastral Database (DCDD) CROWN COPYRIGHT RESERVED Approved for internal reproduction by Porirua City Council	COMPILED BY
	DATE
	SCALE
CHECKED BY	DRAWING NUMBER

Lot 229

44A (2)(c) Any Rates Owing in Relation to the Land

For further information contact rates@pcc.govt.nz

RATES

Assessment No	Current Rates
1547103316	\$6,234.66

WATER RATES

Meter No	Date of Last reading
No information is held by Porirua City Council	

WARM WELLINGTON INSULATION GRANT

For further information contact warm@gw.govt.nz

No information is held by Porirua City Council
--

44A (2)(d); (da); (e) - consent, certificate, notice, order, or requisition the land or any Buildings on the Land

- (d) information concerning any consent, certificate, notice, order, or requisition affecting the land or any building on the land previously issued by the territorial authority (whether under the Building Act 1991, the Building Act 2004, or any other Act)
 - (da) the information required to be provided to a territorial authority under section 362T (2) of the Building Act 2004
- (e) information concerning any certificate issued by a building certifier pursuant to the building Act 1991 or the Building Act 2004

Note: if the land is part of a cross lease title or unit title, consents and permits for the other flats or units may be included in this LIM. If the land has been subdivided there may be consents and permits included that relate to the original property.

It is recommended that the full property file is viewed and compared with the actual structure(s) and activities on the land to identify any illegal or unauthorised building works or activities.

RESOURCE CONSENTS

Files and Information are available by prior arrangement on request from Environment and Regulatory Services.

For further information – please phone the Resource Consent Duty Planner 1.00pm to 4.30pm on 04 237 5089

Consent No	Description	Application Date	Decision Date	Decision	Monitoring Action
	No information is held by Porirua City Council				

ALCOHOL LICENCES

For further information contact environmentalhealth@pcc.govt.nz

Licence No	Type	Expiry
No information is held by Porirua City Council		

REGISTERED ENVIRONMENTAL HEALTH PREMISES

For further information contact environmentalhealth@pcc.govt.nz

Licence No	Type	Expiry
No information is held by Porirua City Council		

BUILDING CONSENTS GRANTED/ISSUED UNDER THE BUILDING ACT 1991/2004

Building with a specified intended life note:

Under the Building Act 1991 and the Building Act 2004, building consents can be issued for buildings that have 'specified intended lives'. These are generally shorter than the timeframes otherwise provided for in the building code (e.g., 50-year performance expectation for some components of a building's structure). Once the specified intended life of a building has expired, the owner may be required to take appropriate steps to remove, replace, upgrade, or maintain the item or building. The particular actions required will depend on the terms of the building consent and discretionary decisions made by the territorial authority.

It is recommended that Council records are viewed and compared with the actual structure(s) and activities on site to identify any illegal or unauthorised building works or activities.

For further information contact building.compliance@poriruacity.govt.nz

Consent No	Description	PIM Issued	BC Granted	BC Issued	CCC Issued*
BCA0503/06	Dwelling	13/12/05	01/02/06	02/02/06	23/06/06

* A Code of Compliance Certificate (CCC) only applies to building work carried out after Building Act 1991. Code Compliance Certificate. CCCs were not required for permits issued under building bylaws prior to the Building Act 1991.

BUILDING PERMITS GRANTED PRIOR TO THE BUILDING ACT 1991

For further information contact building.compliance@poriruacity.govt.nz

Permit No	Description	Granted date
	No information is held by Porirua City Council	

CERTIFICATE OF ACCEPTANCE

For further information contact building.compliance@poriruacity.govt.nz

COA No	Date issued	Date Granted
No information is held by Porirua City Council		

CONDITIONS OF NOTICE TO FIX

For further information contact building.compliance@poriruacity.govt.nz

Particulars of Contravention or Non-Compliance	Date issued	Date to be complied by
No information is held by Porirua City Council		

CERTIFICATES ISSUED BY BUILDING CERTIFIERS

For further information contact building.compliance@poriruacity.govt.nz

No information is held by Porirua City Council
--

SWIMMING POOL

For further information contact building.compliance@poriruacity.govt.nz

Application ID	Origin Date	Last Inspection	Status
Council records do not indicate a current spa pool or pool registered to this site. If a spa pool or pool is present, the owner is responsible for ensuring it meets the requirements of the building code clause F9 – Means of restricting access to residential pools - Please Contact the Council on (04) 237 5089			No information is held by Porirua City Council

DETERMINATIONS

For further information contact building.compliance@poriruacity.govt.nz

Determination No	Date issued	Descriptor
No information is held by Porirua City Council		

BUILDING WARRANT OF FITNESS (TYPICALLY APPLIES TO COMMERCIAL PREMISES)

Some buildings (usually those with Commercial or Industrial use) require a Building Warrant of Fitness (BWF) and a Compliance Schedule in accordance with the Building Act 2004. Where a building does require a Compliance Schedule, specific safety systems and features of the building are required to be inspected and maintained to a specified standard. The owner must provide an annual BWF to confirm that the inspection and maintenance requirements are being observed.

A change of use of a building may mean that BWF and Compliance Schedule requirements may change. A building consent will usually be required.

For further information contact building.compliance@poriruacity.govt.nz

Compliance Schedule No	Compliance Schedule Origin Date	BWF Status
No information is held by Porirua City Council		

Note: If the Compliance Schedule is less than a year old, no Building Warrant of Fitness would have been issued

UNAUTHORISED BUILDING WORK

For further information contact building.compliance@poriruacity.govt.nz

No information is held by Porirua City Council
--

REQUISITIONS

Where the information indicates the existence of a requisition or Council interest, it is the responsibility of the person seeking the information to follow up the status of such information.

For further information contact building.compliance@porirua.govt.nz

Requisition No	Dated	Status
No information is held by Porirua City Council		

44A (2) (ea) – Information notified to Council under Section 124 Weathertight Homes Resolution Services Act 2006

WEATHERTIGHT HOMES - ARE THERE ANY KNOWN ISSUES?

For further information contact building.compliance@porirua.govt.nz or info@mbie.govt.nz

No information is held by Porirua City Council
--

RESTRICTED BUILDING WORKS

For further information contact building.compliance@porirua.govt.nz

Restricted Building Work (residential only).

Building consents granted after 1 March 2012 for residential building work which included structural, weather tightness and design of fire safety systems was classed as Restricted Building Work (RBW). The RBW scheme sets out a regulated process where this work can only be carried out by skilled qualified building practitioners (LBP) who must demonstrate their ability to meet industry consulted competencies in order to obtain the status of being Licensed Building Practitioners. The RBW scheme has 7 licence classes:

- Design
- Site (these are on-site supervisors or project managers)
- Carpentry
- Roofing
- External Plastering
- Brick and Block laying
- Foundations

Registered Architects and Chartered Professional Engineers are automatically treated as Design LBPs. Licensed or certified plumbers or gasfitters are automatically treated as LBPs. For further information go to: <https://www.building.govt.nz/projects-and-consents/planning-a-successful-build/scope-and-design/choosing-the-right-people-for-your-type-of-building-work/use-licensed-people-for-restricted-building-work/>

- There is no 'Restricted Building Works' recorded to this property.

44A(2)(f); (g); (h) – Conditions, classify land or buildings, information from any network utility operator

- f) information relating to the use to which that land may be put, and conditions attached to that use:
- g) information which, in terms of any other Act, has been notified to the territorial authority by any statutory organisation having the power to classify land or buildings for any purpose:
- h) any information which has been notified to the territorial authority by any network utility operator pursuant to the Building Act 1991 or the Building Act 2004:

Purchasers or those intending to develop the land should satisfy themselves that the land is suitable for any intended use or future development proposal.

EARTHQUAKE PRONE BUILDINGS (SECTION 124 BUILDING ACT 2004)

For further information contact building.compliance@porirua.govt.nz

IS IT KNOWN TO PCC AS A POTENTIAL EARTHQUAKE PRONE BUILDING?

No information is held by Porirua City Council
--

Search the register of earthquake-prone buildings (EPB Register) available on the link below via the MBIE website. It provides information about buildings that territorial authorities have determined to be earthquake prone: <https://epbr.building.govt.nz>

CONDITIONS OF NOTICE TO RECTIFY

For further information contact building.compliance@porirua.govt.nz

Particulars of Contravention or Non-Compliance	Date Issued	Date to be complied by
No information is held by Porirua City Council		

CONDITIONS OF DANGEROUS AND INSANITARY BUILDINGS

For further information contact building.compliance@porirua.govt.nz

Particulars of Contravention or Non-Compliance	Date Issued	Date to be complied by
No information is held by Porirua City Council		

ZONING

*For further information – please phone the Resource Consent Duty Planner 1:00pm – 4:30pm on **04-237 5089***

Detailed Zoning Information in the Operative District Plan is available on the Council website <https://porirua.govt.nz/your-council/city-planning-and-reporting/district-plan/operative-district-plan/>, and the Proposed Porirua District Plan is available at www.porirua.govt.nz/proposeddistrictplan

- Suburban Zone
- Medium Density Residential Zone

DESIGNATION

*For further information – please phone the Resource Consent Duty Planner 1.00pm to 4.30pm on **04 237 5089***

A designation is a provision in a district plan for a public work or project - Only a requiring authority can give notice of a requirement for a designation.

- No information held by Porirua City Council

LAND OR BUILDING CLASSIFICATIONS

*For further information – please phone the Resource Consent Duty Planner 1.00pm to 4.30pm on **04 237 5089***

Classifications dictate what activities and *land* uses are permitted. It may also facilitate the assessment of any environmental impacts on, special characteristics and any potential or alternative uses of the land/building.

- No information held by Porirua City Council

LGOIMA 44A (3) – DISCRETIONARY INFORMATION

ROAD RESERVE

For further information contact propertyservice@porirua.govt.nz

- There is no encroachment licence applicable to this property.

RESERVE LAND

For further information contact parks@porirua.govt.nz

- This property does not adjoin a reserve administered by the Parks department under the Reserves Act 1977.

RECORD OF TITLE

For further information contact customersupport@linz.govt.nz

- A Record of Title will be included with all Porirua City Council LIM reports sourced from Land Information New Zealand - <http://www.linz.govt.nz/>

If a LIM applicant requires any corrections to the Record of Title on this LIM, you must make contact with Land Information New Zealand via <http://www.linz.govt.nz/>

FEES AND CHARGES

For further information contact enquiries@porirua.govt.nz

- It should be noted that the Council has various fees, which may apply for specific Building or Resource Consents projects. These fees may include financial contributions and some connection charges. It is suggested that if you have plans for future building work you should make enquires to the Environment and Regulatory Services to determine if there are any outstanding fees and charges.



**RECORD OF TITLE
UNDER LAND TRANSFER ACT 2017
FREEHOLD
Search Copy**




R. W. Muir
Registrar-General
of Land

Identifier **215198**
Land Registration District **Wellington**
Date Issued 30 September 2005

Prior References

179176

Estate Fee Simple
Area 600 square metres more or less
Legal Description Lot 226 Deposited Plan 352503

Registered Owners

Ronald George Daly and Kathryn Anne Daly

Interests

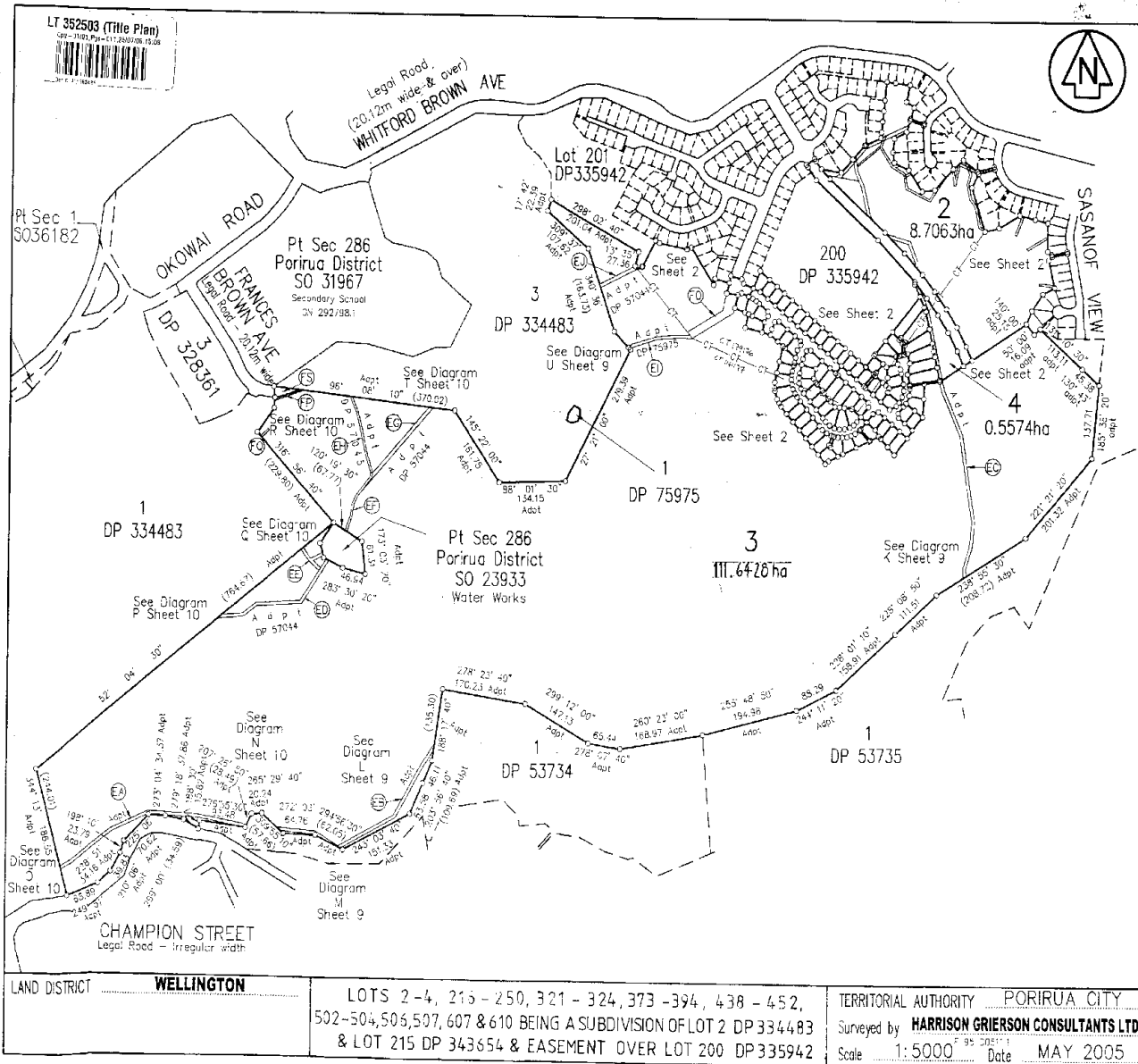
Subject to a right (in gross) to drain sewage & water over part marked AK on DP 352503 in favour of Porirua City Council created by Easement Instrument 6591753.6 - 30.9.2005 at 9:00 am

The easements created by Easement Instrument 6591753.6 are subject to Section 243 (a) Resource Management Act 1991

Fencing Covenant in Easement Instrument 6591753.9 - 30.9.2005 at 9:00 am

Land Covenant in Easement Instrument 6591753.9 - 30.9.2005 at 9:00 am

10426639.3 Mortgage to Bank of New Zealand - 27.5.2016 at 10:42 am



Approves *[Signature]*
 on behalf *Carroll Ltd.*
 Registered Owners

I hereby certify that this plan was approved by the Porirua City Council pursuant to Section 223 of the Resource Management Act 1991 on the 15 day of June 2005 subject to the granting or reserving of the easements set out in the Memorandum herein

[Signature]
 Authorised Officer

- NOTES**
- Boundaries are adopted from DP 334483 unless otherwise shown.
 - Subject to Section 11 Crown Minerals Act 1991
 - Subject to Part IVA of the Conservation Act 1987
 - For easement schedules see Sheet 11
 - Areas A to M and AV, AW, AX, AY, AZ, BA & BB are subject to a building covenant (see sheet 2)

SHEET 1 OF 11

Class of Survey 1

Total Area 129.1235 ha

Comprised in Cat. WN141372, WN179176

I, STEFAN WIRE KISS OF WELLINGTON
 being a person entitled to practice as a licensed cadastral surveyor, certify that -
 (a) the survey to which this document relates was carried out in accordance with the provisions of the Subdivision Act 2002 and the Survey-General's Rules for Cadastral Survey 2002;
 (b) this document is accurate, and has been created in accordance with that Act and those Rules.

Dated at WELLINGTON this 23rd day of MAY 2005
 Signature *[Signature]*

Land Book A Volume Book P
 Reference Pages DP 334483, DP 343654, DP 335942, DP 79979, DP 332731

Examined Correct

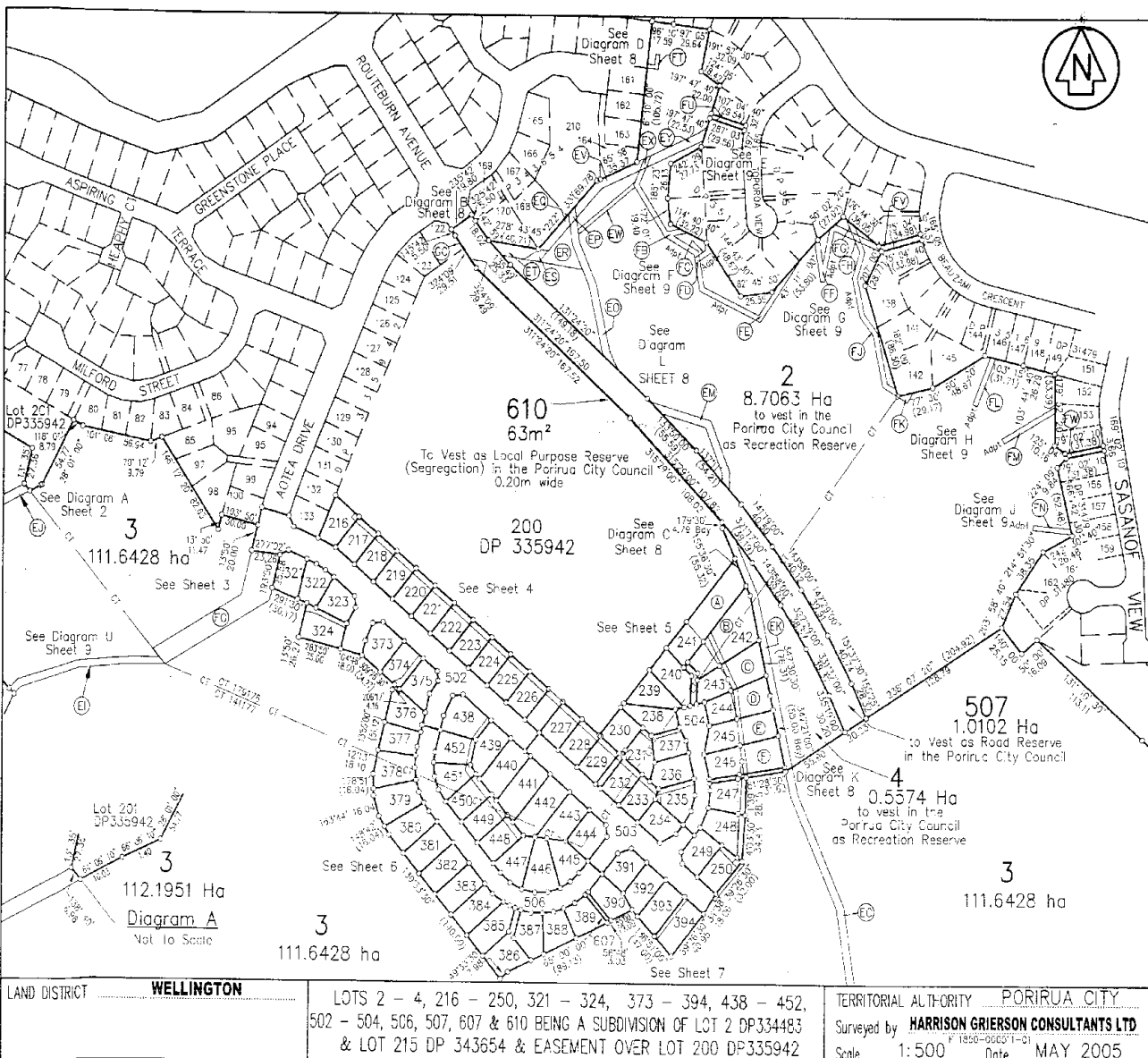
Approved as to Survey by Land Information NZ on 9/9/2005

Deposited by Land Information NZ on 30/9/2005

File Received Wishart DP352503
 Instructions

LAND DISTRICT WELLINGTON	LOTS 2-4, 215-250, 321-324, 373-394, 438-452, 502-504, 505, 507, 607 & 610 BEING A SUBDIVISION OF LOT 2 DP 334483 & LOT 215 DP 343654 & EASEMENT OVER LOT 200 DP 335942	TERRITORIAL AUTHORITY PORIRUA CITY Surveyed by HARRISON GRIERSON CONSULTANTS LTD Scale 1:5000 Date MAY 2005
---------------------------------	---	---

1: BEVEN, S. HAYDEN GENERAL LAND INFORMATION NEW ZEALAND, NEW ZEALAND



Approvals
 NOTES:
 Areas A to M and AV, AW, AX, AY, AZ, BA & BB are subject to a building covenant

SHEET 2 OF 11

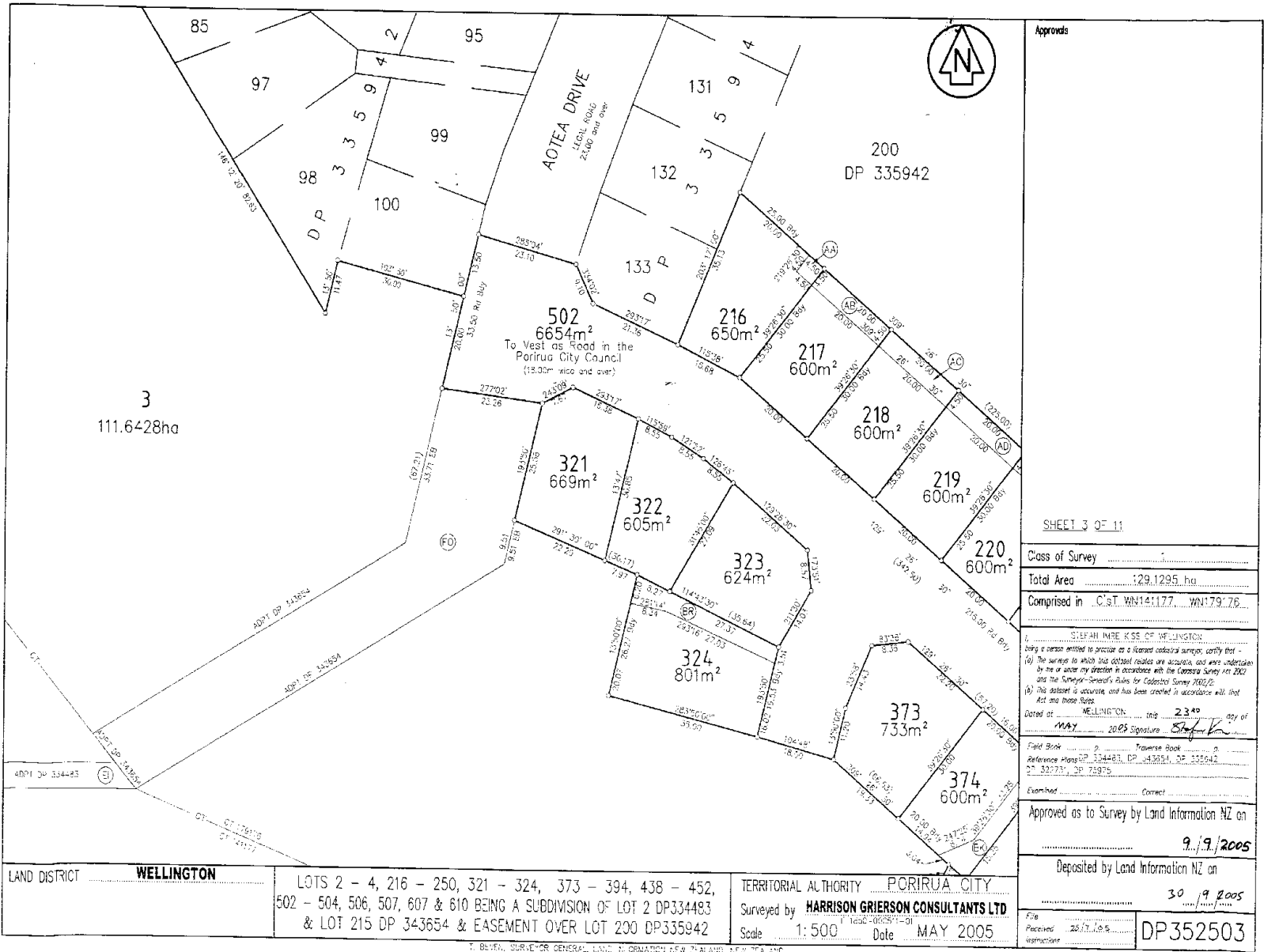
Class of Survey
Total Area	129.1295 ha
Comprised in C's. WN141177, WN179176
I, STEPHAN MARK KISS OF WELLINGTON, <small>being a person entitled to practice as a licensed valuer, surveyor, cartographer - (a) The surveys to which this valuer's practice are accurate, and were undertaken by me or under my direction in accordance with the General Survey Act 2002, and the Surveyor-General's Rules for Conducted Survey 2002/2, (b) This dataset is accurate, and has been created in accordance with that Act and those Rules.</small>	
Dated at	WELLINGTON the 23 rd day of MAY 2005 Signature <i>Steph K</i>
Field Book p. Traverse Book
Reference Plans	DP 334483, DP 343354, DP 335942, DP 322731, DP 75925
Examined Correct
Approved as to Survey by Land Information NZ on	9./9./2005
Deposited by Land Information NZ on	30./19./2005
File Received instructions	DP352503

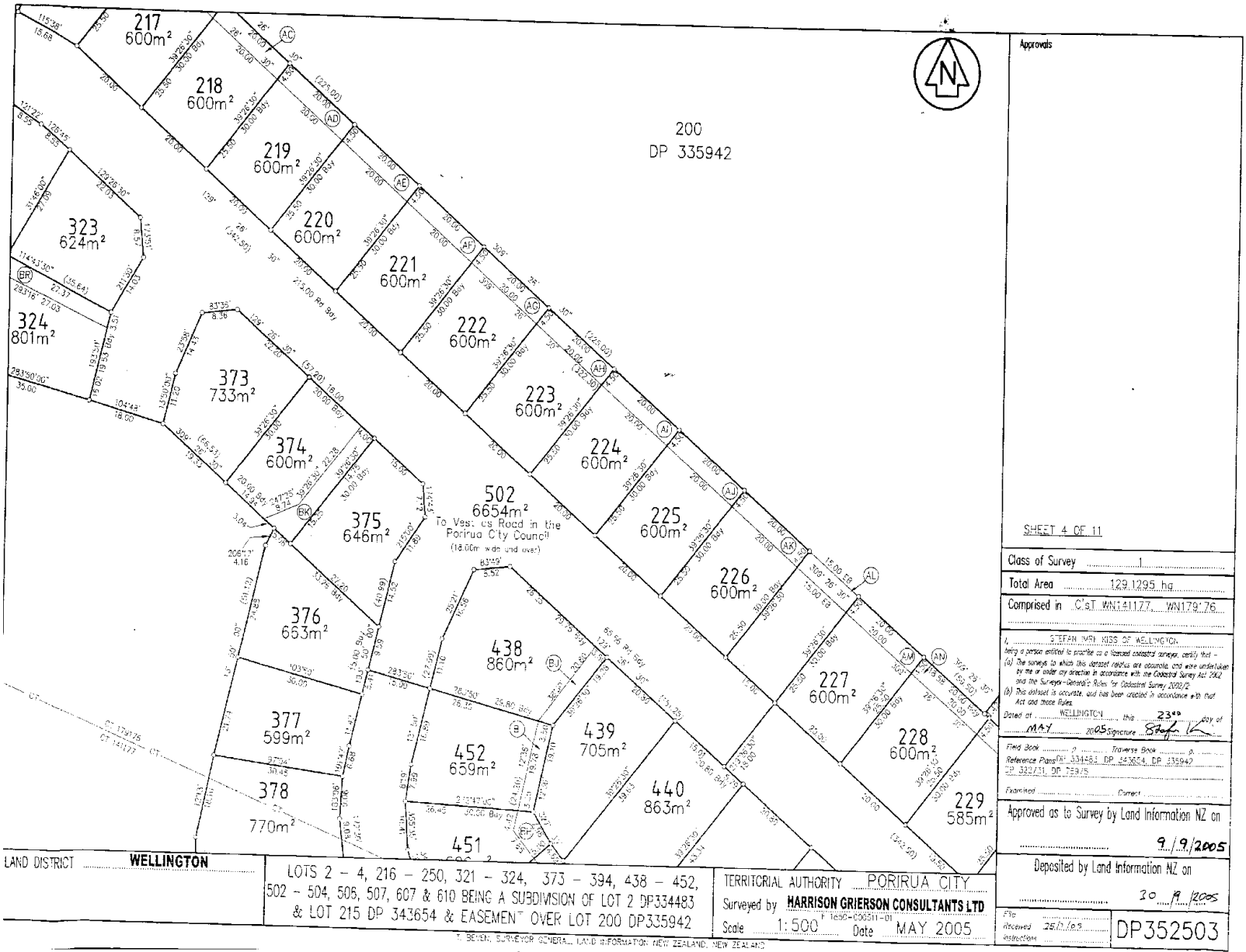
LAND DISTRICT WELLINGTON

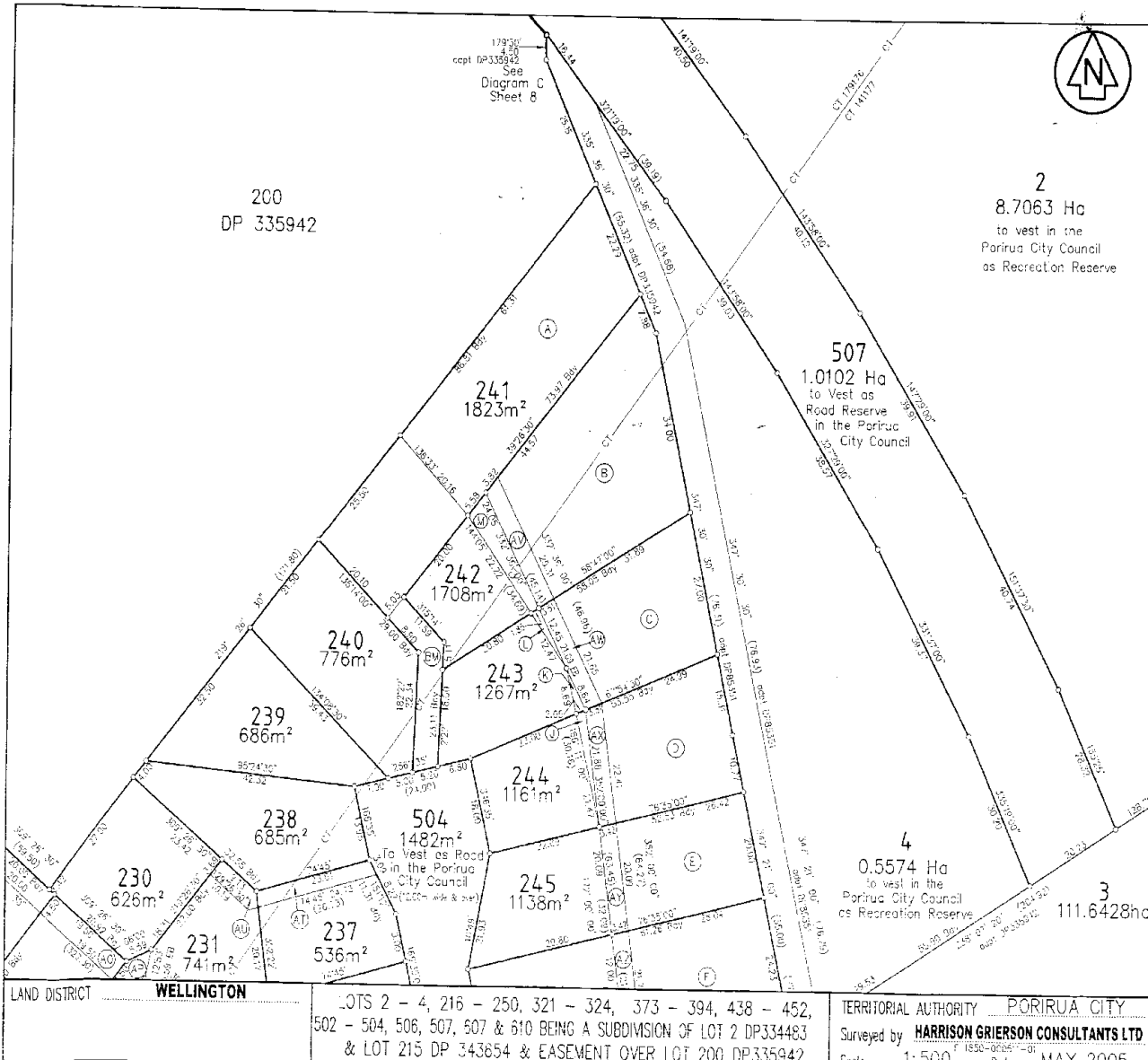
LOTS 2 - 4, 216 - 250, 321 - 324, 373 - 394, 438 - 452,
 502 - 504, 506, 507, 607 & 610 BEING A SUBDIVISION OF LOT 2 DP334483
 & LOT 215 DP 343654 & EASEMENT OVER LOT 200 DP335942

TERRITORIAL AUTHORITY PORIRUA CITY
 Surveyed by HARRISON GRIERSON CONSULTANTS LTD
 Scale 1:500 Date MAY 2005

1:500 SURVEYOR GENERAL LAND INFORMATION NEW ZEALAND, NEW ZEALAND







Approvals
 NOTES:
 Areas A to M and AV, AW, AX, AY, AZ, BA & EB are subject to a building covenant

2
 8.7063 Ha
 to vest in the
 Porirua City Council
 as Recreation Reserve

507
 1.0102 Ha
 to Vest as
 Road Reserve
 in the Porirua
 City Council

4
 0.5574 Ha
 to vest in the
 Porirua City Council
 as Recreation Reserve

3
 111.6428ha

SHEET 5 OF 11

Class of Survey	1
Total Area	129.1295 ha
Comprised in	C'st. WN.141177, WN.179176

STEPHAN MARIE KISS OF WELLINGTON
 being a person entitled to practice as a licensed cadastral surveyor, certify that -
 (a) The surveys to which this instrument relates are accurate, and were undertaken
 by me or under my direction in accordance with the Cadastral Survey Act 2002
 and the Survey-General's Rules for Cadastral Survey 2002/2;
 (b) This document is accurate, and has been compiled in accordance with that
 Act and those Rules

Witnessed at WELLINGTON this 23rd day of
 MAY 2005 Signature *[Signature]*

Field Book Traverse Book
 Reference Plans DP 334285, DP 343635, DP 335942
 DP 332731, DP 73975

Examined Correct

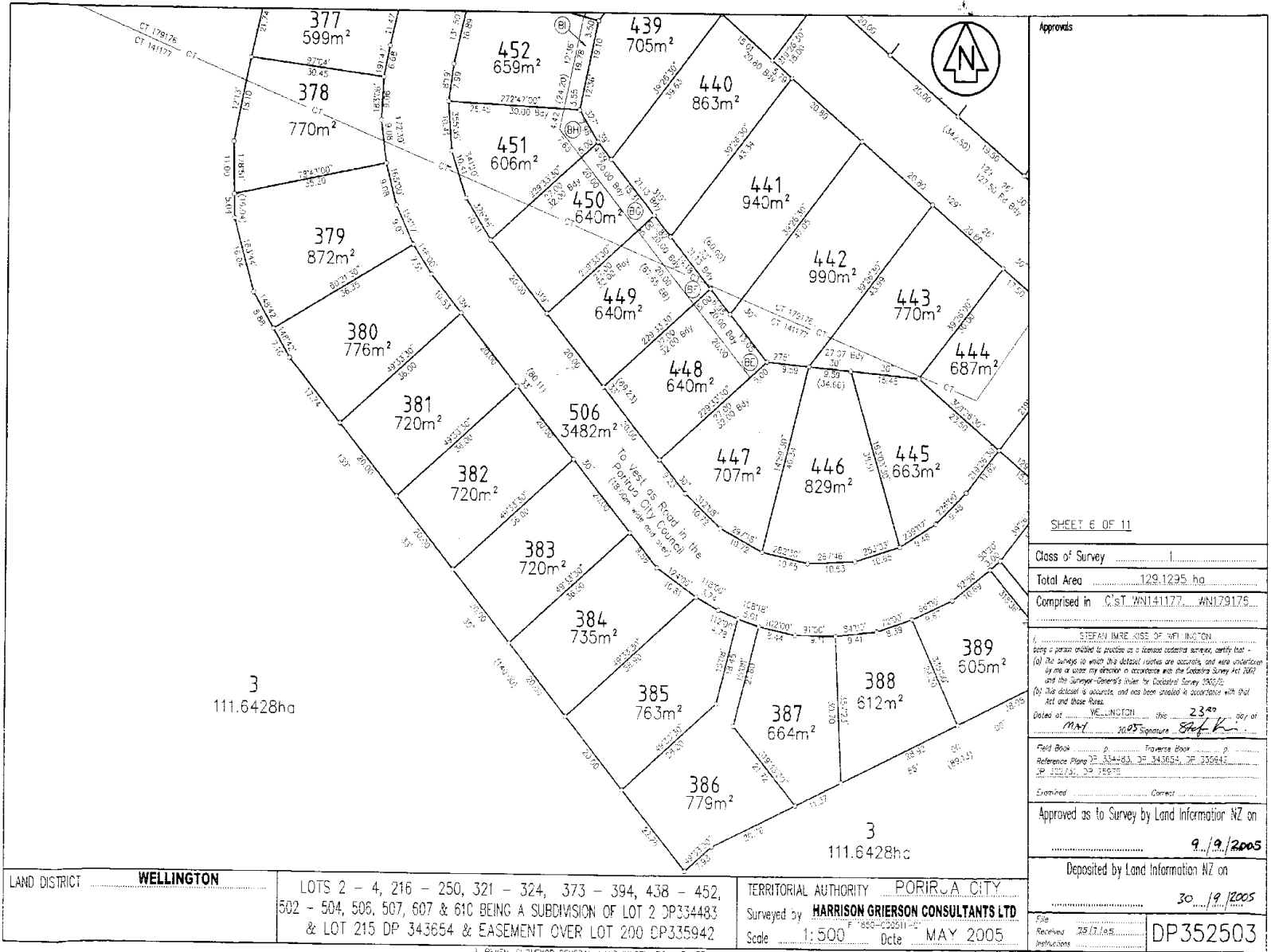
Approved as to Survey by Land Information NZ on
 9/9/2005

Deposited by Land Information NZ on
 30/9/2005

File
 Received 29/7/05 DP352503
 Instructions

LAND DISTRICT	WELLINGTON
TERRITORIAL AUTHORITY	PORIRUA CITY
Surveyed by	HARRISON GRIERSON CONSULTANTS LTD
Scale	1:500
Date	MAY 2005

BY DEPUTY SURVEYOR GENERAL, LAND INFORMATION NEW ZEALAND, NEW ZEALAND



Approvals

SHEET 6 OF 11

Class of Survey 1

Total Area 129.1295 ha

Comprised in C/sT. AN141177, AN179175

STEFAN INRE (USE OF) WELLINGTON
 Being a person entitled to practice as a licensed cadastral surveyor, certify that -
 (a) the numbers to which this detailed plan is accurate, and was undertaken by me or under my direction in accordance with the Cadastral Survey Act 2002 and the Survey-General's rules for Cadastral Survey 2002/2;
 (b) this detailed plan is accurate, and was created in accordance with that Act and those Rules.

Dated at WELLINGTON this 23rd day of MAY 2005 Signature: *Stefan Inre*

Field Book Traverse Sheet
 Reference Plans DP 334483, DP 343654, DP 336642, DP 332131, DP 356378

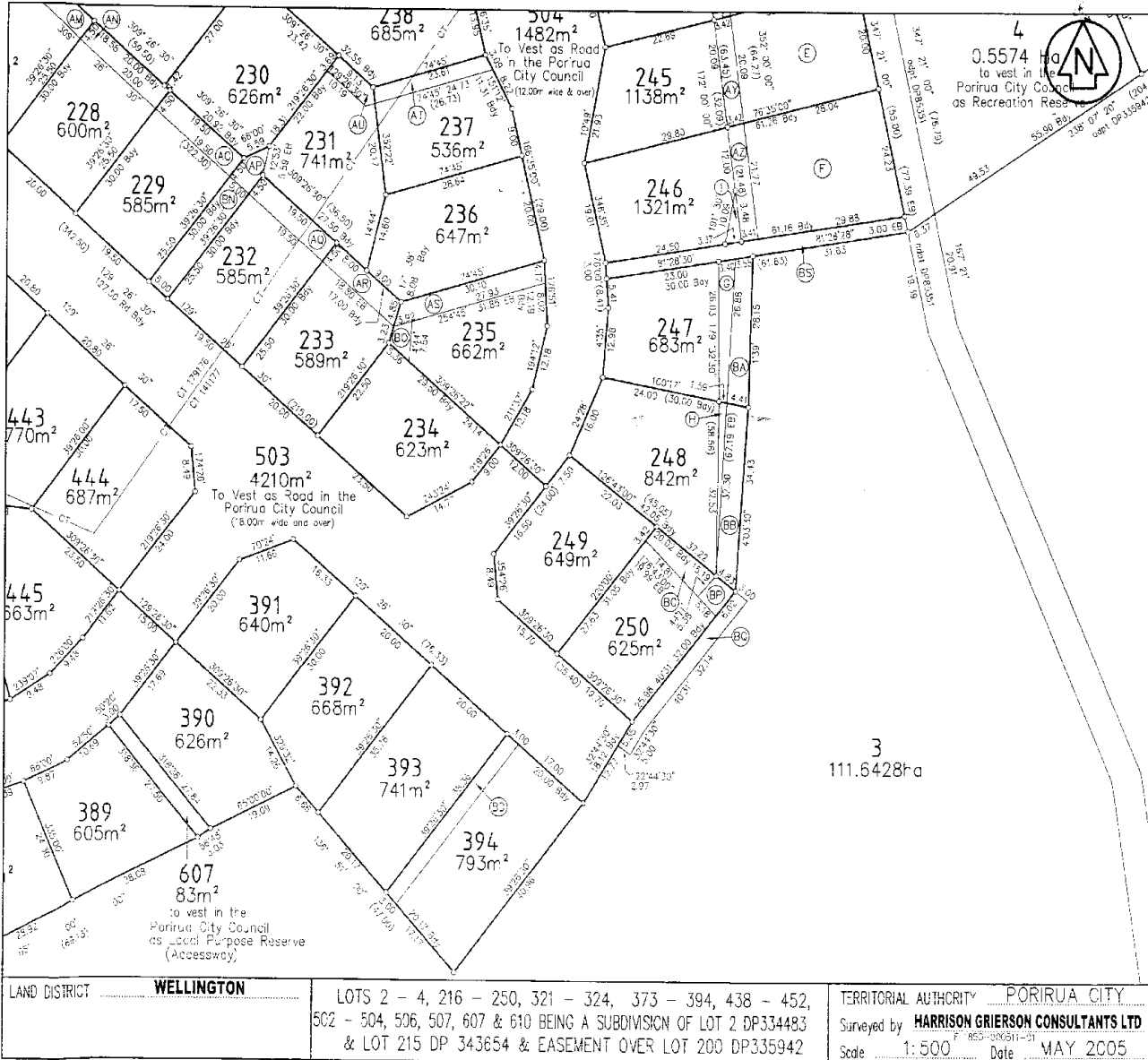
Examined Correct

Approved as to Survey by Land Information NZ on 9./9./2005

Deposited by Land Information NZ on 30./9./2005

File DP352503

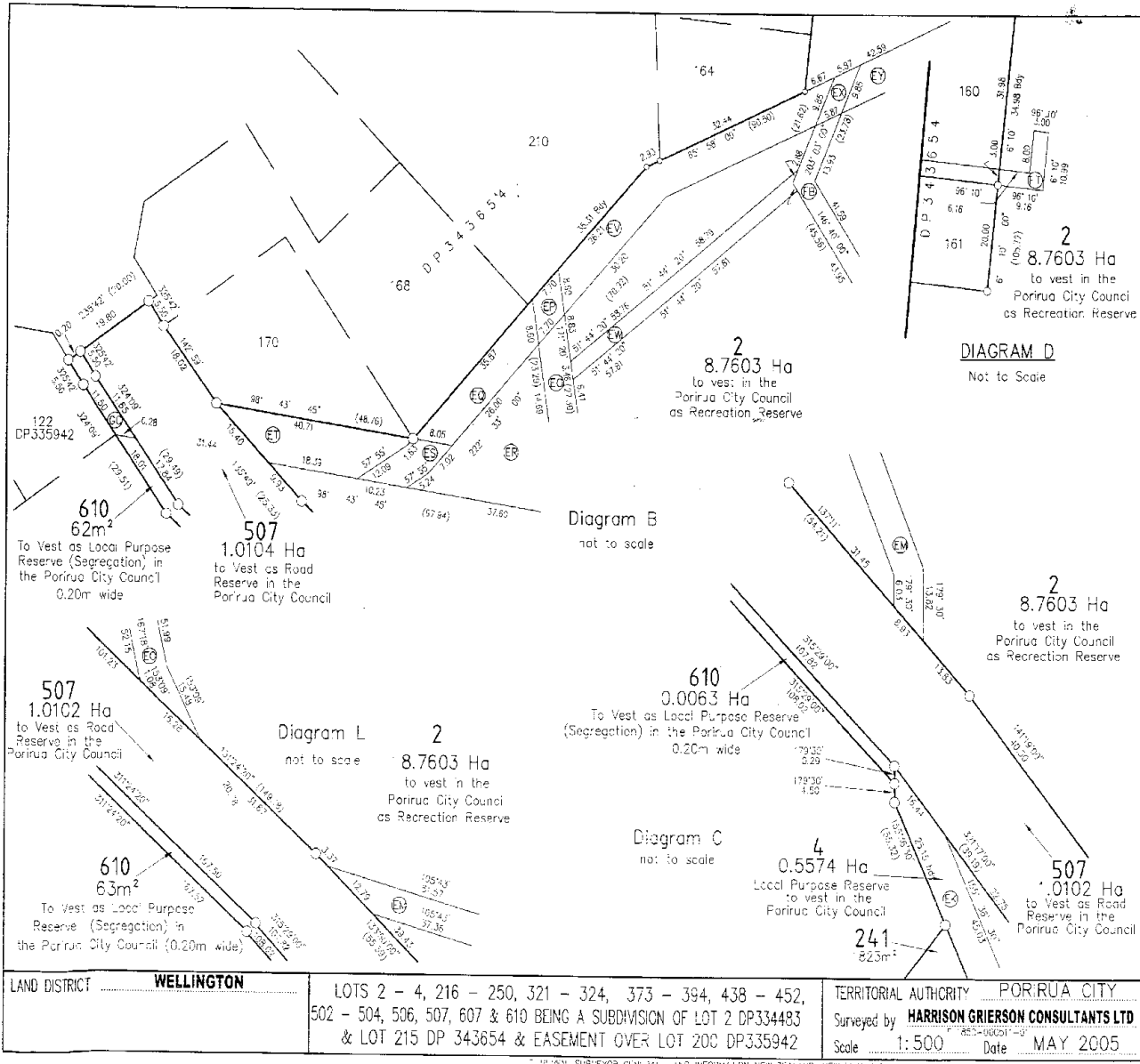
LAND DISTRICT	WELLINGTON	LOTS 2 - 4, 216 - 250, 321 - 324, 373 - 394, 438 - 452, 502 - 504, 506, 507, 607 & 610 BEING A SUBDIVISION OF LOT 2 DP334483 & LOT 215 DP 343654 & EASEMENT OVER LOT 200 DP335942	TERRITORIAL AUTHORITY	PORIRUA CITY
		Surveyed by	HARRISON GRIERSON CONSULTANTS LTD	
		Scale	1:500	Date
				MAY 2005



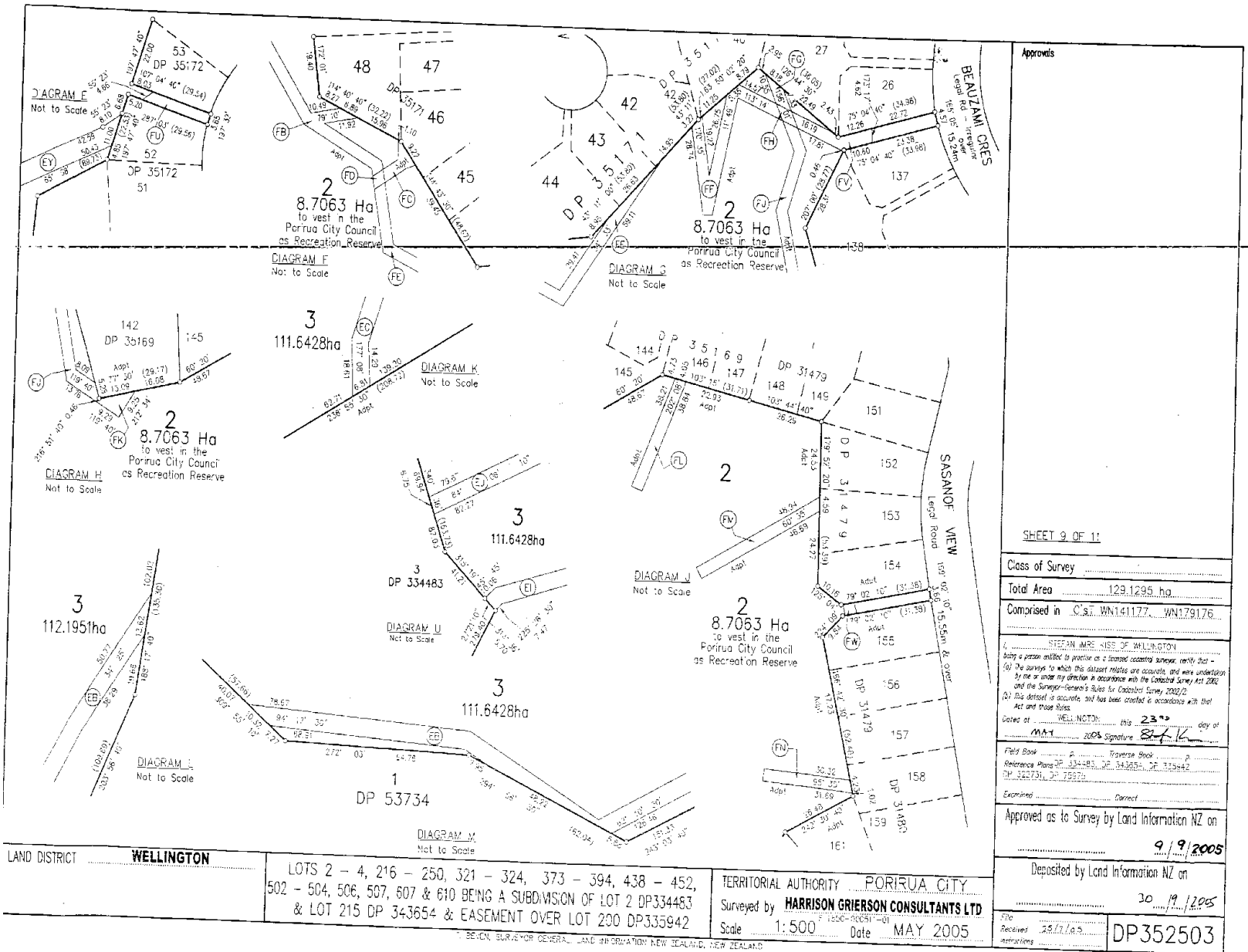
Approvals	
NOTES: Areas A to M and AV, AW, AX, AY, AZ, BA & BB are subject to a building covenant	
SHEET 7 OF 11	
Class of Survey	1
Total Area	129.1295 ha
Comprised in	C.S.T. WN: 41177, WN: 79176
I, STEFAN INRE RIES OF WELLINGTON being a person entitled to practice as a licensed cadastral surveyor, certify that - (a) the surveys to which this certificate relates are accurate and were undertaken by me or under my direction in accordance with the Cadastral Survey Act 2002 and the Surveyor-General's Rules for Cadastral Survey 2007; (b) the document is accurate and has been created in accordance with that Act and those Rules.	
Dated at	WELLINGTON this 23 rd day of MAY 2005 Signature <i>[Signature]</i>
Field Book	1. Traverse Book 2. Reference Plans DP 334483, DP 343654, DP 335442, DP 332731, DP 75975
Examined	Correct
Approved as to Survey by Land Information NZ on	9/9/2005
Deposited by Land Information NZ on	30/9/2005
File Received Instructions	28/12/05 DP352503

LAND DISTRICT	WELLINGTON	TERRITORIAL AUTHORITY	PORIRUA CITY
LOTS 2 - 4, 216 - 250, 321 - 324, 373 - 394, 438 - 452, 502 - 504, 506, 507, 607 & 610 BEING A SUBDIVISION OF LOT 2 DP334483 & LOT 215 DP 343654 & EASEMENT OVER LOT 200 DP335942		Surveyed by	HARRISON GRIERSON CONSULTANTS LTD
		Scale	1:500
		Date	MAY 2005

STEFAN INRE RIES, SURVEYOR GENERAL, LAND INFORMATION NEW ZEALAND, NEW ZEALAND



Approvals	
SHEET 8 OF 11	
Class of Survey	1
Total Area	129.1295 ha
Comprised in	C.S.T. WN141177, WN179176
I, STEPHAN WREASE OF WELLINGTON being a person entitled to practise as a licensed cadastral surveyor, certify that - (a) the survey to which this document relates is accurate, and was undertaken by me or under my direction in accordance with the Cadastral Survey Act 2002 and the Surveyor-General's Rules for Cadastral Survey 2002/2; (b) this document is accurate, and has been created in accordance with that Act and those Rules. Dated at WELLINGTON, this 23 rd day of MAY, 2005 Signature <i>Steph Wrease</i>	
Field Book	0 Traverse Book 0
Reference Plans	DP 334483, DP 343654, DP 335942, DP 302151, DP 75970
Examined	Correct
Approved as to Survey by Land Information NZ on	
	9/9/2005
Deposited by Land Information NZ on	
	30/9/2005
File Received Instructions	23/11/05 DP352503



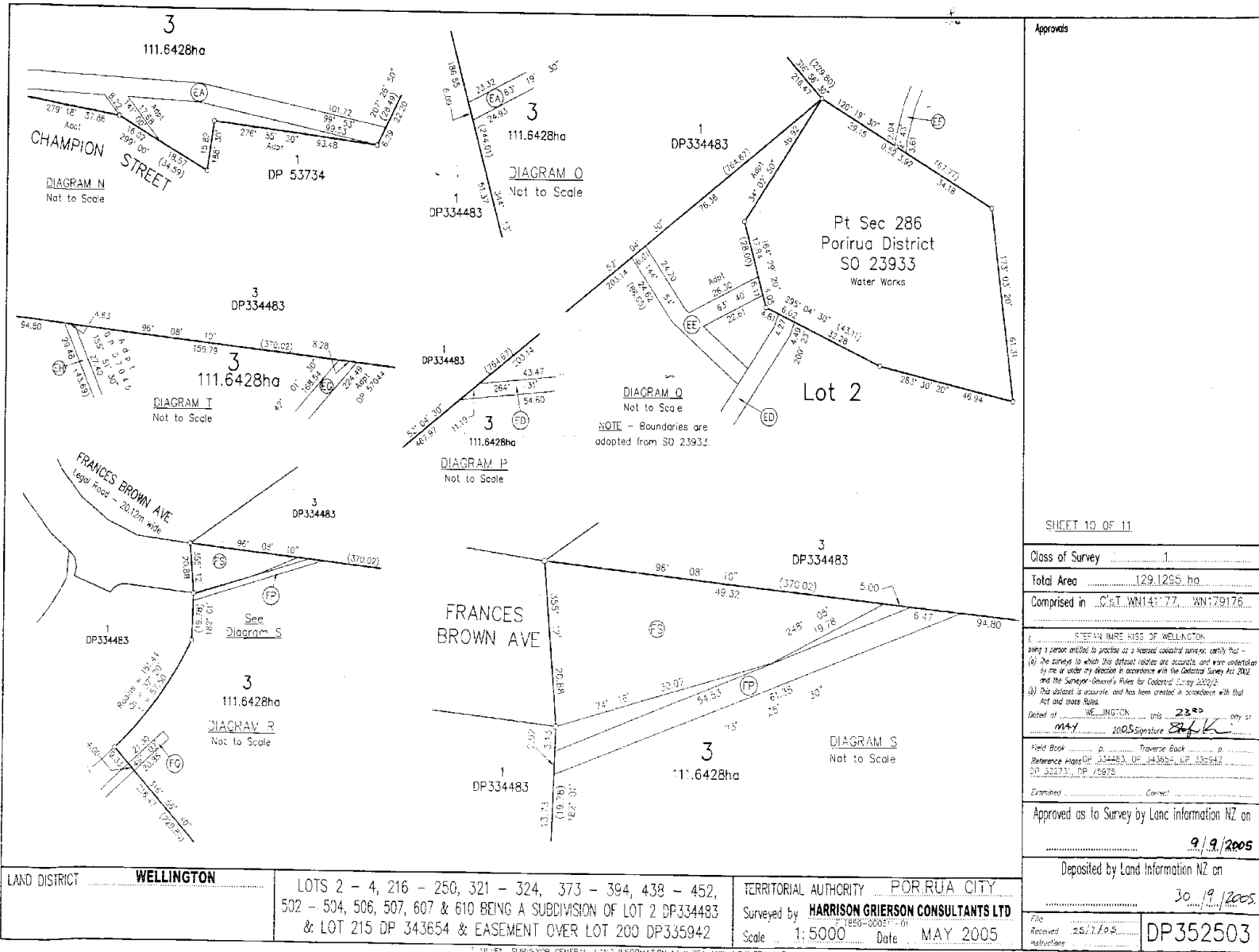
Approvals	
SHEET 9 OF 11	
Class of Survey
Total Area	129.1295 ha
Comprised in	C.S.T. WN141177, WN179176
I, STEPHAN WARE-KISETI OF WELLINGTON being a person entitled to practice as a licensed cadastral surveyor, certify that - (a) The surveys to which this document relates are accurate, and were undertaken by me or under my direction in accordance with the Cadastral Survey Act 2002 and the Surveyor-General's Rules for Cadastral Survey 2002/2; (b) This document is accurate, and has been created in accordance with that Act and those Rules.	
Dated at	WELLINGTON this 23 rd day of MAY 2005 Signature: <i>Stephan Ware-Kiseti</i>
Field Book
Reference Plans	DP 334483, DP 343654, DP 335442, DP 343731, DP 358370
Examined Correct
Approved as to Survey by Land Information NZ on	9/9/2005
Deposited by Land Information NZ on	30/09/2005
File	DP 352503
Received	28/11/05
Instructions

LAND DISTRICT **WELLINGTON**

LOTS 2 - 4, 216 - 250, 321 - 324, 373 - 394, 438 - 452, 502 - 504, 506, 507, 607 & 610 BEING A SUBDIVISION OF LOT 2 DP334483 & LOT 215 DP 343654 & EASEMENT OVER LOT 200 DP335942

TERRITORIAL AUTHORITY **PORIRUA CITY**
 Surveyed by **HARRISON GRIERSON CONSULTANTS LTD**
 Scale **1:500** Date **MAY 2005**

BEHOLD SURVEYOR GENERAL, LAND INFORMATION NEW ZEALAND, NEW ZEALAND



Approvals	
SHEET 10 OF 11	
Class of Survey	1
Total Area	129.1295 ha
Comprised in	C&T WN14177, WN179176
I, STEVEN INGRE KISS OF WELLINGTON, being a person entitled to practice as a licensed cadastral surveyor, certify that -	
(a) the surveys to which this dataset relates are accurate, and were undertaken by me or under my direction in accordance with the Cadastral Survey Act 2002 and the Surveyor-General's Rules for Cadastral Survey 2002;	
(b) this dataset is accurate and has been created in accordance with that Act and those Rules.	
Dated at	WELLINGTON this 23 RD day of MAY 2005
Field Book	DP 334483, DP 343654, DP 335942
Reference Plans	DP 333273, DP 15875
Examined	Correct
Approved as to Survey by Land Information NZ on 9/9/2005	
Deposited by Land Information NZ on 30/9/2005	
File Received	25/11/05
Instructions	DP352503

1. SURVEYOR GENERAL, LAND INFORMATION NEW ZEALAND, NEW ZEALAND

Approvals

SHEET 11 OF 11

Class of Survey

Total Area 129,129.9 ha

Comprised in C.S.T. WN141177, WN129176

I, STEPHEN MIKE KIRBY OF WELLINGTON
being a person entitled to practice as a Chartered Certified Surveyor, certify that -
(a) The surveys to which this document relates are accurate, and were undertaken by me or under my direction in accordance with the Coastal Survey Act 1902 and the Surveyor-General's Notice for Coastal Survey 2002/02
(b) This document is accurate, and has been created in accordance with that Act and those Rules.

Dated at WELLINGTON this 23rd day of MAY 2005
SRS Signature [Signature]

Field Book p. Traverse Book p.
Reference Plans DP 334365, DP 343654, DP 343655, DP 329842, NP 122731, NP 15476

Examined Correct

Approved as to Survey by Land Information NZ on 9/19/2005

Deposited by Land Information NZ on 30/19/2005

File No. DP 352503
Received 28/12/05
Instructions

SCHEDULE OF EXISTING EASEMENTS

PURPOSE	SHOWN	SERVIENT TENEMENT	CREATED BY
Right of Way	(E)	Lot 3 hereon	B.604095.2
	(F)	Lot 3 hereon	E.I. 6138626.10
Right to convey Electricity	(F)	Lot 3 hereon	B.504095.2
Right to convey Electricity Telecom - Communications & Computer Media	(F)	Lot 3 hereon	F.I. 6138626.10

MEMORANDUM OF EASEMENTS

PURPOSE	SHOWN	SERVIENT TENEMENT	DOMINANT TENEMENT
Right of Way	(AP)	Lot 231 hereon	Lot 230 hereon
	(AM)	Lot 241 hereon	Lot 242 hereon
	(AN)	Lot 231 hereon	Lot 230 hereon
Right to convey Electricity, Gas, Water, Telecomm. Media	(AP)	Lot 231 hereon	Lot 230 hereon
	(AM)	Lot 241 hereon	Lot 242 hereon
Right to drain Sewage and Stormwater	(BL)	Lot 250 hereon	Lot 249 hereon
	(EL)	Lot 235 hereon	Lot 234 hereon

SCHEDULE OF EXISTING EASEMENTS IN GROSS

PURPOSE	SERV. TEN.	SHOWN	GRANTEE	CREATED BY	
Right to drain Sewage	Lot 3 hereon	(EA) (EB) (EC)	Porirua City Council	B.686096.3	
	Lot 4 hereon	(EK)			
	Lot 2 hereon	(EM) (EO) (EH)			
		(EI) (EJ) (EK)			
		(EL) (EM) (EN)			
		(EO) (EP) (EQ)			
		(ER) (ES) (ET)			
		(EU) (EV) (EW)			
				(EW)	E.I. 6390136.9
	Right to convey Water	Lot 3 hereon		(ED) (EE)	Wellington Regional Council
		(EG) (EJ)	B.557646.1		
		(EF)	T.861524.2		
Lot 2 hereon		(EP) (EV) (EX)	F.B. 557646.1		
		(EY) (FU)			
Right to drain Stormwater	610 hereon	(EG)	Porirua City Council	E.I. 6138626.3	
		(GG)		E.I. 6390136.9	
Right to drain Stormwater	Lot 2 hereon	(F)	Porirua City Council	B.686096.3	
		(FD) (FO) (FF)			
		(FH) (FL) (FM)			
		(FN) (FV) (FW)			
Right to drain Sewage and Stormwater	Lot 2 hereon	(ES) (EJ) (ER)	Porirua City Council	E.I. 6138626.11	
		(EQ)		E.I. 6390136.9	
	610 hereon	(GG)		E.I. 6138626.11	
Right of Way	Lot 3 hereon	(EF) (EH) (ES)		T.861524.1	

SCHEDULE OF EXISTING EASEMENTS TO BE SURRENDERED

PURPOSE	DESCRIPTION	DOCUMENT No.
Right to drain Sewage	Part of (60) as shown on DP343654 now vested in Lot 507 as Road Reserve	B.686096.3
Right to drain Sewage and Stormwater	Part of (60) as shown on DP343654 now vested in Lot 507 as Road Reserve	E.I. 6138626.11
Right to convey water	Part of (60) as shown on DP343654 now vested in Lot 507 as Road Reserve	E.I. 6138626.2
Right of Way	Part of (60) as shown on DP343654 now vested in Lot 507 as Road Reserve	E.I. 6138626.10

NEW C&T ALLOCATED

LOT	C1	LOT	C1
2	215185	324	215226
3	215186	373	215227
4	215187	374	215228
216	215188	375	215229
217	215189	376	215230
218	215190	377	215231
219	215191	378	215232
220	215192	379	215233
221	215193	380	215234
222	215194	381	215235
223	215195	382	215236
224	215196	383	215237
225	215197	384	215238
226	215198	385	215239
227	215199	386	215240
228	215200	387	215241
229	215201	388	215242
230	215202	389	215243
231	215203	390	215244
232	215204	391	215245
233	215205	392	215246
234	215206	393	215247
235	215207	394	215248
236	215208	438	215249
237	215209	439	215250
238	215210	440	215251
239	215211	441	215252
240	215212	442	215253
241	215213	443	215254
242	215214	444	215255
243	215215	445	215256
244	215216	446	215257
245	215217	447	215258
246	215218	448	215259
247	215219	449	215260
248	215220	450	215261
249	215221	451	215262
250	215222	452	215263
321	215223	507	215264
322	215224	607	215265
323	215225	610	215266

MEMORANDUM OF EASEMENTS IN GROSS

PURPOSE	SHOWN	SERVIENT TENEMENT	GRANTEE
Right to drain Sewage and Stormwater	(AA)	Lot 216 hereon	Porirua City Council
	(AB)	Lot 217 hereon	
	(AC)	Lot 218 hereon	
	(AD)	Lot 219 hereon	
	(AE)	Lot 220 hereon	
	(AF)	Lot 221 hereon	
	(AG)	Lot 222 hereon	
	(AH)	Lot 223 hereon	
	(AI)	Lot 224 hereon	
	(AJ)	Lot 225 hereon	
	(AK)	Lot 226 hereon	
	(AL)	Lot 229 3135942 hereon	
	(AM)	Lot 227 hereon	
	(AN)	Lot 228 hereon	
	(AO)	Lot 229 hereon	
	(AP)	Lot 231 hereon	
	(AQ)	Lot 232 hereon	
	(AR)	Lot 233 hereon	
	(AS)	Lot 235 hereon	
	(AT)	Lot 237 hereon	
	(AU)	Lot 237 hereon	
	(AV)	Lot 242 hereon	
	(AW)	Lot 243 hereon	
	(AX)	Lot 244 hereon	
	(AY)	Lot 245 hereon	
	(AZ)	Lot 246 hereon	
	(BA)	Lot 247 hereon	
	(BB)	Lot 248 hereon	
	(BC)	Lot 394 hereon	
	(BD)	Lot 448 hereon	
	(BE)	Lot 449 hereon	
	(BF)	Lot 450 hereon	
	(BH)	Lot 451 hereon	
(BI)	Lot 452 hereon		
(BJ)	Lot 438 hereon		
(BK)	Lot 374 hereon		
(BL)	Lot 250 hereon		
(BO)	Lot 3 hereon		
(BR)	Lot 324 hereon		
(BS)	Lot 4 hereon		

LAND DISTRICT **WELLINGTON**

LOTS 2 - 4, 216 - 250, 321 - 324, 373 - 394, 438 - 452, 502 - 504, 506, 507, 607 & 610 BEING A SUBDIVISION OF LOT 2 DP334483 & LOT 215 DP 343654 & EASEMENT OVER LOT 200 DP335942

TERRITORIAL AUTHORITY **PORIRUA CITY**

Surveyed by **HARRISON GRIERSON CONSULTANTS LTD**

Scale **1:500** Date **MAY 2005**

HISTORICAL AND CULTURAL VALUES

For further information contact Environment & City Planning 04 237 5089

HERITAGE SITE

Buildings, items, and sites with historic heritage values provide a context for community identity. They can also provide valuable information about the past and the cultures of those who came before us, for example, the tools, technology, and materials available at specific points in time.

- Porirua City Council holds no record of a 'Heritage Site' pertaining to the property

AREAS OF CULTURAL SIGNIFICANCE TO NGĀTI TOA RANGATIRA

The Māori approach to protecting their unique heritage involves the concept of kaitiakitanga. To reflect the respective significance of the Ngāti Toa cultural values within the city, areas have been classified as either wāhi tapu (associated with places of death or birth); or wāhi tūpuna (associated with traditional uses).

- Porirua City Council holds no record of any 'Areas of Cultural Significance to Ngāti Toa Rangatira' pertaining to the property

NOTABLE TREE

Porirua City's notable trees are those that are recognised and protected for one or more of their historic heritage, amenity, or ecological values.

- Porirua City Council holds no record of a 'Notable Tree' pertaining to the property

NATURAL ENVIRONMENTAL VALUES

The landscapes within Porirua define the characteristics and unique identity of the city, incorporating rugged and rolling hills, wetlands, harbour margins and coastal escarpments. Some features remain strongly natural while others have been modified through human activity over time. Together these provide a distinct natural identity and amenity unique to Porirua City that is valued by the community.

- Porirua City Council holds no record of any 'Natural Environmental Values' pertaining to the property

There may be matters relevant to this site in the Proposed District Plan. The Proposed District Plan can be viewed at www.porirua.govt.nz/proposeddistrictplan where you can search by property address. Please contact the Manager Environment & City Planning on 04 237 5089 for further information on this matter.

INFRASTRUCTURE

For further information contact Environment & City Planning 04 237 5089

Infrastructure is often seen as a necessary and normal part of urban and rural environments; it can also have adverse effects on surrounding land uses and the environment. Infrastructure, as defined in the RMA, generally encompasses physical services and facilities which enable society to function, such as the Three Waters Network, transport, communications, energy generation and distribution networks, and any other network utilities undertaken by network utility operators.

NOISE CORRIDORS

Land transport noise is predominantly experienced along major road corridors, particularly in built up, urban areas, and residential areas near road corridors.

- Porirua City Council holds no record of a 'Noise Corridor' pertaining to the property

GAS TRANSMISSION PIPELINE CORRIDOR

Gas transmission pipelines lie within areas of land, referred to as pipeline corridors, which may be defined on survey plans and protected by easements registered on property titles.

- Porirua City Council holds no record of a 'Gas Transmission Pipeline' pertaining to the property

GAS TRANSMISSION ABOVE GROUND STATION

Natural Gas Transmission Compressor stations are above-ground facilities that are typically located every 50 to 100 miles along natural gas transmission pipelines.

- Porirua City Council holds no record of a 'Gas Transmission Above Ground Station' pertaining to the property

NATIONAL GRID CORRIDOR

The National Grid includes some 12,000 km of transmission lines and cables (overhead and underground), and 178 substations across the country. The National Grid is controlled by a telecommunications network with 300 telecommunication sites, which help link together the components that make up the National Grid.

- Porirua City Council holds no record of a 'National Grid Corridor' pertaining to the property

There may be matters relevant to this site in the Proposed District Plan. The Proposed District Plan can be viewed at www.poriruacity.govt.nz/proposeddistrictplan where you can search by property address. Please contact the Manager Environment & City Planning on 04 237 5089 for further information on this matter.

CADASTRAL MAPS / AERIAL PHOTO(S)

For further information contact Environment & City Planning 04 237 5089

AERIAL PHOTOS

- Boundaries on aerial plots are a guide only.

WIND ZONES

A wind zone is the rating of the amount of wind pressure a manufactured home must be built to withstand, based on the home's location.

Wind Zone Classifications are:

- A = Specific Engineer Design
- B = Very High Wind
- C = High Wind
- D = Medium Wind
- E = Not Assessed/Unknown

CORROSION ZONES

Building Sites are classified as being in Exposure Zones, these are Zone C and Zone D, depending on the severity of exposure to wind driven sea salt.

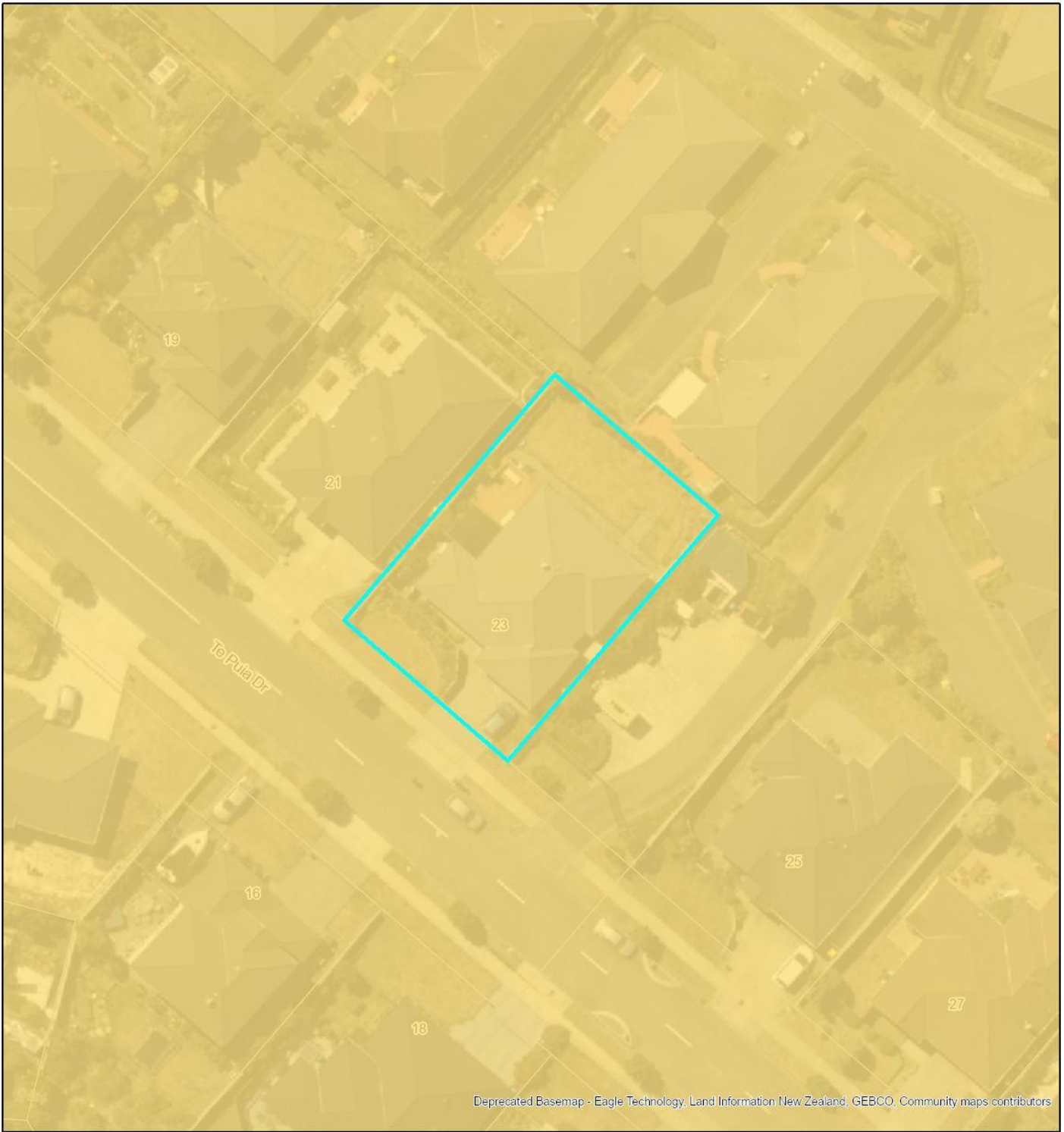
The Exposure Zone Classifications are:

Zone C: Inland Coastal areas with medium risk from wind-blown sea spray salt deposits. This zone covers mainly coastal areas with relatively low salinity. The extent of the affected area varies significantly with factors such as winds, topography, and vegetation.

Zone D: Coastal areas of high risk of wind-blown sea spray salt deposits. This is defined as within 500m of the sea including harbours, or 100m from tidal estuaries and sheltered inlets.



There may be matters relevant to this site in the Proposed District Plan. The Proposed District Plan can be viewed at www.porirua.govt.nz/proposeddistrictplan where you can search by property address. Please contact the Manager Environment & City Planning on 04 237 5089 for further information on this matter.

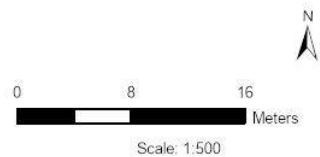
Wind Zones



LEGEND

Wind Zone

-  c - High
-  Parcel



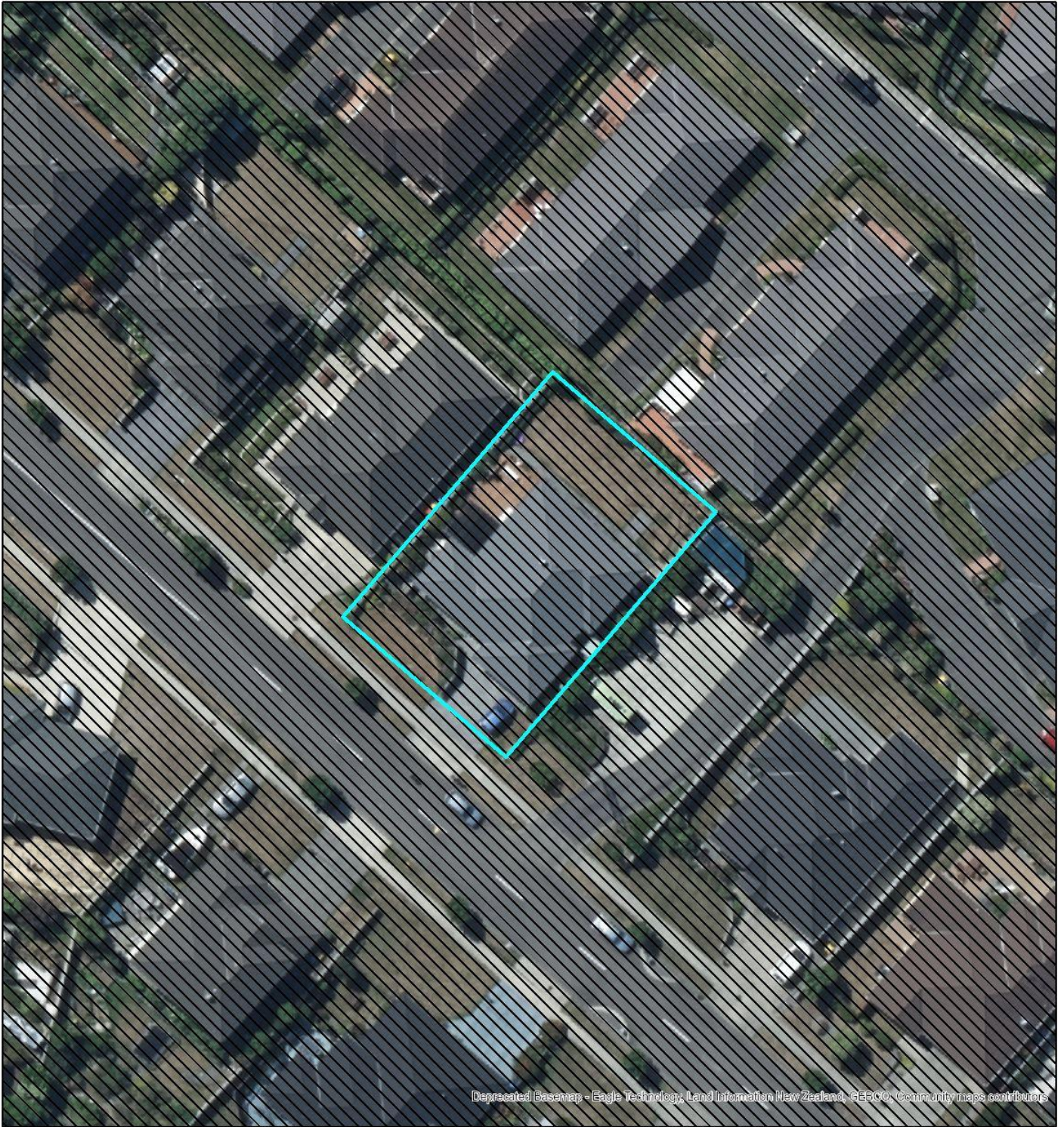
Created on 9 May 2024

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
poriruacity

Corrosion Zones



LEGEND

Corrosion Zone

 Zone C



0 8 16
Meters

Scale: 1:500

Created on 9 May 2024

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LIQUEFACTION

For further information contact Environment & City Planning 04 237 5089

Liquefaction is the process which causes soil to behave more like a liquid than a solid during an earthquake.

- Porirua City Council holds no record of 'Liquefaction' pertaining to the property

SEISMIC SCENARIOS

1. Moderate regional earthquake ≥ 5.5 @ 0-30km from epicentre, OR large distant shallow earthquake ≥ 6.0 @ 50-100km from epicenter
2. Large regional earthquake ≥ 6.0 @ 15-60km from epicentre
3. Maximin probable earthquake, Wellington fault 7.5 @ 9km from epicentre
4. Maximin credible earthquake, Ohariu Fault > 7.2 @ 0-5km from epicenter

GROUND SHAKING

Ground shaking is a term used to describe the vibration of the ground during an earthquake.

- All or part of this site has been identified as being potentially susceptible to amplified ground shaking during seismic events. Further information on the site and its ground shaking susceptibility can be found in the report. The demarcation of ground shaking cannot be construed as absolute. Site specific investigations should be undertaken on a site or area, on or near, a zone boundary.
 - Seismic Hazard Area

POTENTIAL SURFACE FAULT RUPTURE ZONE

Surface rupture is an offset of the ground surface when a fault rupture extends to the Earth's surface.

- Porirua City Council holds no record of a 'Rupture' pertaining to the property

There may be matters relevant to this site in the Proposed District Plan. The Proposed District Plan can be viewed at www.porirua.govt.nz/proposeddistrictplan where you can search by property address. Please contact the Manager Environment & City Planning on 04 237 5089 for further information on this matter.

Potential Liquefaction Areas



Deprecated Basemap - Eagle Technology, Land Information New Zealand, GCSGO, Community maps contributors

LEGEND

Liquefaction

- Low
- High



Scale: 1:20,000

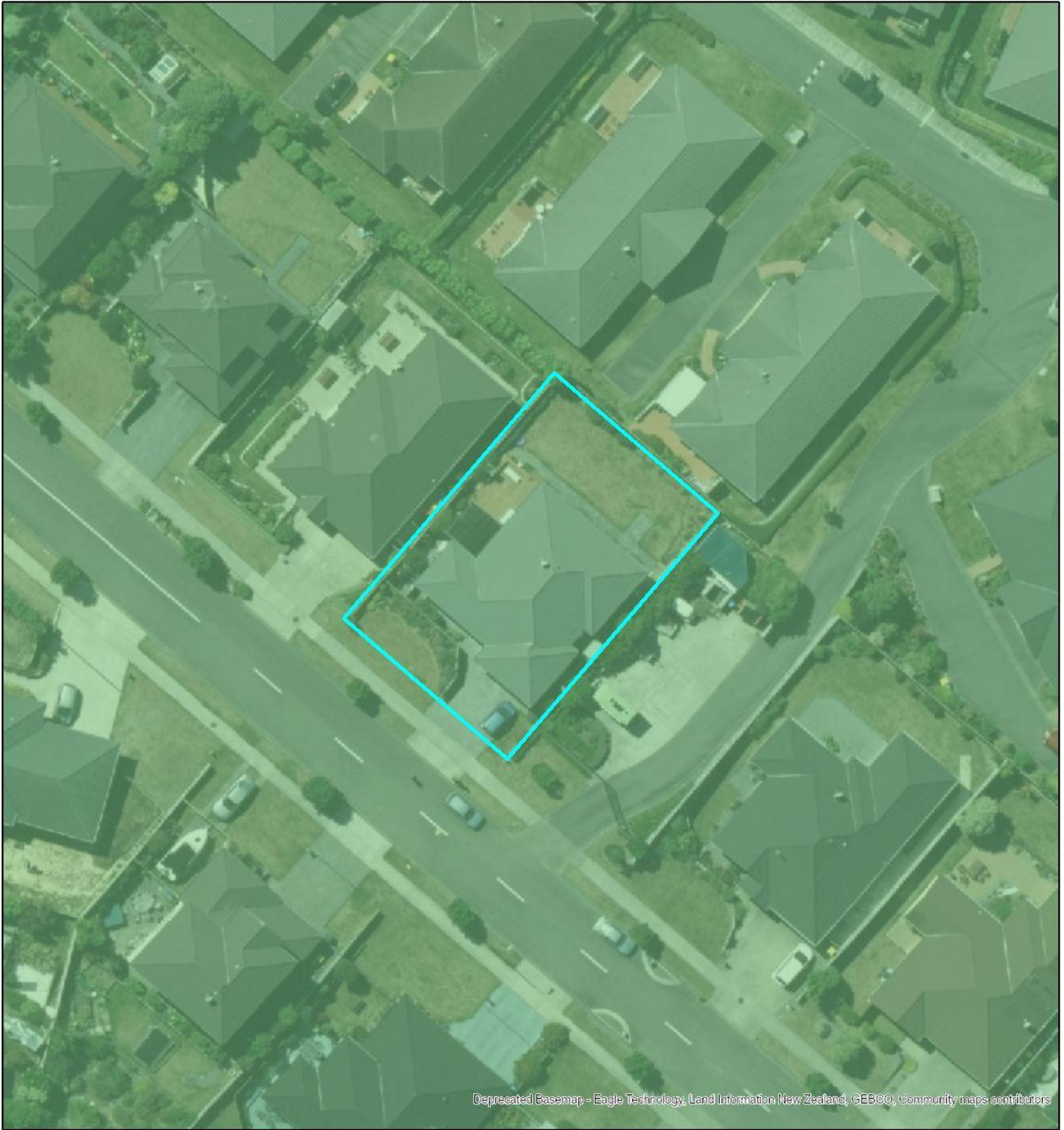
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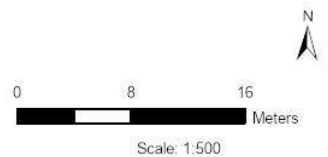
porirua city

Ground Shaking



LEGEND

Ground Shaking
least shaking



Created on 9 May 2024

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porirua city